

**Cleveland Street
and
Holloway Street**

Historic District Preservation Plan

**City of Durham
Historic District Commission
and
Planning and Community Development Department**

Adopted February 2, 1987

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Introduction

A. Overview

The Cleveland St. and Holloway St. areas offer one of Durham's best opportunities to re-establish a richly embellished, turn-of-the-century neighborhood. Located a few blocks northeast of Downtown Durham, the area's proximity to the Central Business District and its surviving blend of late 19th and early 20th century fashionable residential structures makes the Cleveland St. and Holloway St. neighborhoods prime candidates for recognition as historic districts.

The Cleveland St. and Holloway St. Historic Preservation Plan includes the history of the districts, the need for the districts, the preservation goal for the districts and policies and recommendations achieve the goal. Section I contains an overview of the Plan and an explanation of National Register Districts and Local Historic Districts. The City's Historic District Commission and Certificates of Appropriateness are also discussed. Section II outlines the history of the areas, the proposed local districts boundaries and an assessment of the collected inventory data. Section III is the Historic Preservation Strategy which examines the goal, policies and implementation recommendations for preserving the historic integrity of the districts. Section IV contains principles and review criteria for restoration, new construction and landscaping. This section also defines architectural terms. The Appendix includes a copy of the Historic District Overlay Zone from the Durham Zoning Ordinance and other reference materials.

1. National Register Historic Districts

On September 20, 1985, the Cleveland Street and Holloway Street neighborhoods were listed with the National Register of Historic Places as Historic Districts. The National Register listing of these areas is an honor that recognizes the district's historic importance. The designation also means that any Federal or State funded project in the district must be reviewed to assess the project's effect on the historic area. Map 1 shows the National Register Historic Districts in Durham.

2. Local Historic Districts

The local Historic District Overlay Zone was created by the Durham City Council to provide a local means of protection for Durham's historic areas. This zoning classification can be applied to neighborhoods of historic importance and supplements the underlying zoning of the property. The North Carolina enabling legislation (G.S.

160A-3A) permits municipalities to create an overlay zone and an Historic District Commission to review all exterior modifications, demolitions and new construction within a local district. A Historic Preservation Plan defines a preservation strategy for a district and provides the Commission criteria and guidelines for their review.

3. Historic District Commission

The Zoning Ordinance establishes a nine member Historic District Commission as the review body to oversee the local historic districts. The Commissioners, who serve overlapping terms of three years, are all required to be residents of Durham's planning and zoning jurisdiction. All Commission members must reside in the City's extraterritorial zoning jurisdiction, and seven of the nine members must reside in the City. The membership must include one registered architect, one realtor or developer, one cultural or social historian, one lending institution representative and two who are none of these. The body meets at regularly scheduled meetings on a monthly basis.

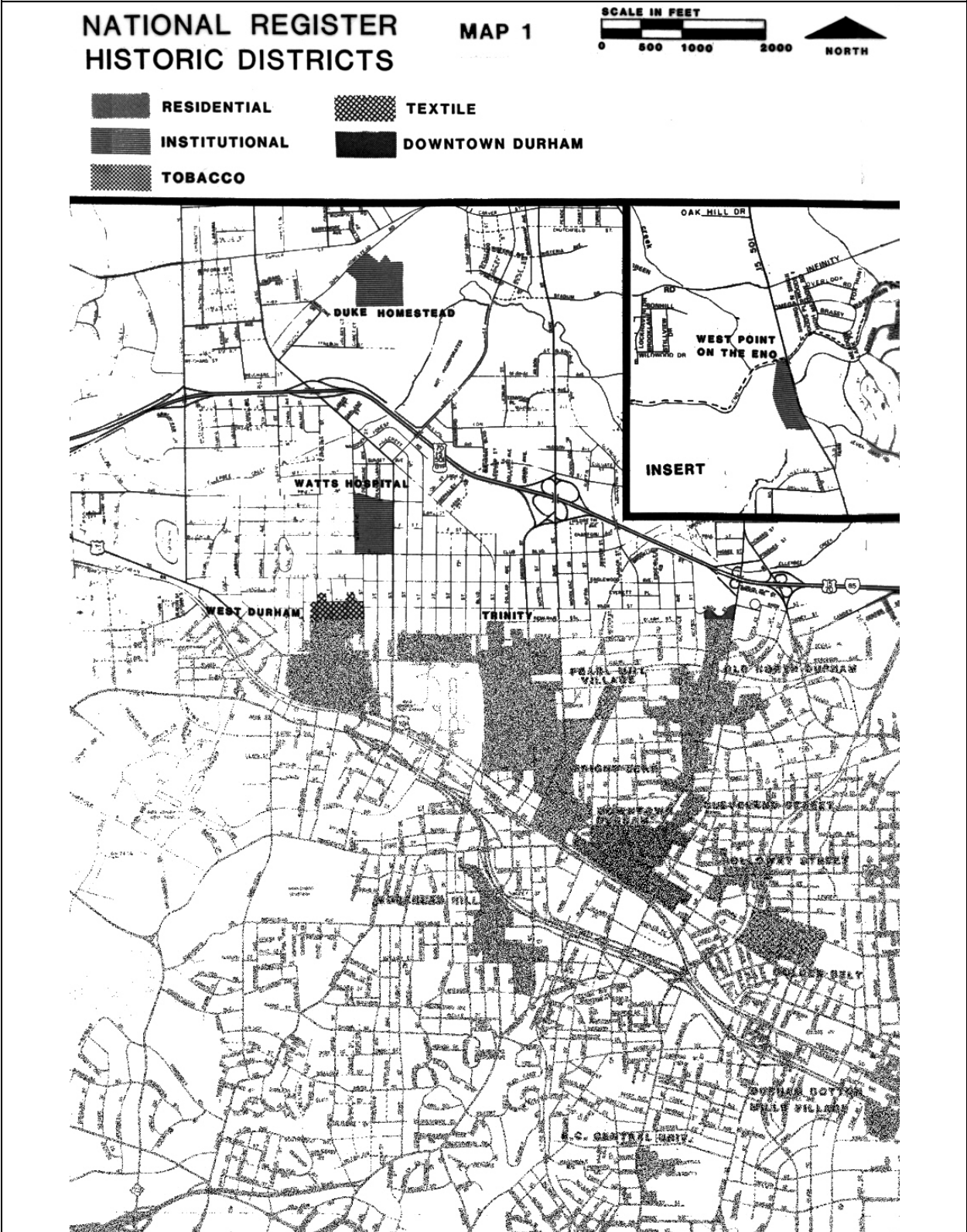
It is the general responsibility of the Historic District Commission 1) to advise the City Council on the establishment of historic districts and on their respective historic preservation plans; 2) to issue Certificates of Appropriateness for any exterior building or site modifications, new construction or demolition within local historic districts; and 3) to educate the public about the community's historic resources and their preservation. In addition, the City Council has directed the Historic District Commission to review and advise on the historic appropriateness of rezoning petitions and other actions in National Register Districts.

4. City Council, Planning and Zoning Commission, City Staff

The City Council has established the Historic District Commission and will appoint new members as the present members' terms expire. The City Council applies the historic district overlay zone and adopts an historic preservation plan to designate a local historic district. Prior to Council's action on designation, the Planning and Zoning Commission reviews and makes a recommendation to Council regarding the designation and preservation plan for the proposed district.

The City administration, primarily the staff of the Planning and Community Development Department, is responsible for providing staff assistance to the Historic District Commission. The City staff produces the preservation plans for proposed historic districts, processes applications for Certificates of Appropriateness, and provides the Commission and the public with technical assistance.

Map 1, National Register Districts Boundaries



Historic District Inventory

This section of the Cleveland Street and Holloway Street Historic Districts Preservation Plan includes the history of the districts, a description of the local district's boundary, and the Inventory and analysis of what remains in the districts today.

A. *History of District*

1. Early History

From the 1840's when Dr. Bartlett Durham built his estate in what is now Durham's Central Business District until the early years of the twentieth century, Durham encountered extremely rapid growth. The completion of the North Carolina Railroad Company line in 1854 provided the means for Durham's products to reach both ends of the state. Steady growth for the area accompanied the railroad; and by 1860 an academy, a hotel, stores, trade shops, saloons, and a tobacco factory were scattered in and around present-day downtown Durham.

The Civil War curtailed any new growth temporarily, but the hamlet of Durham was already established and provided the foundation for future growth. Even though Durham saw no military action during the Civil War, the end of that war can be credited for the remarkable growth that followed. The surrender at Bennett's Farm (west of Durham) of the North Carolina troops brought numerous Union and Confederate soldiers to the hamlet. J. P. Green's tobacco factory, previously built and owned by R. F. Morris and located on land purchased from Dr. Durham, provided a necessary diversion for the troops waiting for the terms of surrender to be negotiated. The soldiers returning home spread the word about the quality tobacco they found in Durham. Soon, tobacco orders came to J. P. Green from all over the reunited nation, and the growth of his company set the stage for Durham's development as a major manufacturing town.

By 1870 Durham was incorporated, and the years that followed brought phenomenal growth to the City. New factories, commercial enterprises and public institutions began to supply the demands of the stream of new Durham residents. The population of Durham sprang from 200 in 1869 to 2,000 in 1880 and doubled to 4,000 in 1890. It was during these years and the early decades of the Twentieth Century, that the Cleveland and Holloway Historic Districts provided part of the residential neighborhood needed for the growing downtown.

2. 1870's Through 1890's

With the incorporation of Durham in 1869, the city limits included several farms located in the vicinity of Cleveland Street - north to Old Five Points and west of Oakwood Drive. By the 1870's "Hen Peck Row" in the southern area of the district became Dillard Street and a series of the most elaborate residential structures in the City's history were constructed. Julian S. Carr's home, "Waverly Honor," was constructed at the corner of Dillard and Ramseur Streets in 1870 (replaced by Carr's "Somerset Villa", built in 1888). A number of other elaborate homes followed and were located to the north on Dillard Street. The area soon became known as "Mansion Row," and this name remained until the destruction of "Somerset Villa" in 1926. This very fashionable neighborhood provided the impetus for the residential development of the remainder of the Cleveland Street and Holloway Street Historic Districts.

In the 1870's the "Road to Roxboro", which was located on a natural ridgeline that extends north from downtown, had its name changed to Person Street. By the 1880's Person Street became Cleveland Street, and substantial, well-built homes began to spring up on lots subdivided from these former farm lands. Though not as elaborate as the residences on "Mansion Row" to the south, these homes were the fashionable dwellings of the early entrepreneurs and business leaders who came to Durham as a result of the 1870's boom. Another ridge extending east known as the "Road to Raleigh" became Holloway Street in 1886. The Holloway Street neighborhood became another desirable residential area with large, highly decorated homes. Together, these two ridges—Cleveland and Holloway Streets—represented Durham's finest neighborhood in the late nineteenth and early twentieth centuries.

The continuing growth of Durham brought a diversified mix of people by the 1890's. Recent immigrants to the United States, including large groups of Russian Jews and Greeks, came to Durham and successfully found employment. Many of these immigrants began settling in the Cleveland and Holloway Streets area. The ridges along these two streets remained the chosen sites for the more prestigious homes, and the dwellings constructed "down hill" to the east and north were progressively smaller and less substantial. As demands increased for a variety of housing, many of the established residents took in boarders, and duplexes and rooming house became established before the turn-of-the-century.

3. Architecture of Nineteenth Century Structures

Cleveland, Holloway and Dillard Streets primarily attracted the merchants, manufacturers, and professionals. Many of their substantial homes are still standing today. The rich variety of homes built during the 1890's is typified by such structures as the Freeland Markham House (801 Cleveland Street), which exhibits the late Victorian Neo-Classical style; the Leary-Coletta House (809 Cleveland Street), which was designed by the Philadelphia architect Samuel L. Leary as his residence in the shingle style; and the Stone-Hackney-Markham House (204 N.

Dillard Street), which shows a very ornate Queen Anne style. In the Twentieth Century, the introduction of many smaller yet impressive structures began to take place throughout the district. The E. H. Lawrence House and the F. L. Hunter House (no longer standing) at 803 and 606 Cleveland Street respectively, and the Henry Wilkerson Home at 524 Holloway Street were the first one-story structures built on these fashionable streets. All of these homes exhibited an abundance of Queen Anne style details and features including highly decorative gables and applied sawn work. Though smaller in overall scale than their neighboring structures, the mass and height of these buildings were accentuated by their steeply raked, hipped roofs with applied gables and their large, elaborate porches. It was important to these early property owners that their more modest structures blend successfully with the existing homes to maintain the visual quality of their neighborhood.

4. Early Twentieth Century Development

The Cleveland Street and Holloway Street Historic Districts continued to develop in the early years of the Twentieth Century. Several churches, a synagogue and public and private schools located in and around the District were constructed in these years. Moreover, commercial enterprise began to take place in the neighborhood. Small shops and markets began to dot the landscape along the eastern end of Holloway Street, and a shopping area known as "Little Five Points" at the intersection of Mangum and Cleveland Streets provided most of the services needed by the neighborhood. The one remaining commercial building inside the Historic District is O'Briant's store at 613 Holloway Street, adjacent to the railroad tracks. This brick, two-story storefront structure was constructed prior to 1915 by a local resident, R. P. O'Briant, and it served as a neighborhood grocery. The building displays granite lintels and sills and a decorative brick, corbelled cornice. During the 1920's and 1930's the neighborhood remained relatively intact while growth in the area diminished.

5. 1940 to Present

The years during World War II and the following decades brought a steady decline in the neighborhood. The increasing importance of the automobile made living near downtown unnecessary, and most of the early residents began to move away. The Jewish community had left the area by the 1940's and the Greek families, who at one time had exclusively settled in this area, moved out of their homes and closed their shops by the 1960's. It was during the Post War years that the Downtown business district expanded increasingly into the neighborhood; and as it infiltrated into the district, more and more houses were converted to apartments and rental properties for lower income citizens.

Although the Cleveland Street and Holloway Street Historic Districts have continued to deteriorate, much of the original historic fabric is still apparent. Several of the older homes in the area have remained owner-occupied and these properties contribute to the historic setting. The Stone-Hackney-Markham House on Dillard Street, the R.

Percy Reade House on Holloway Street, and the Leary-Coletta House on Cleveland Street are three of the most architecturally important homes in the district and remain owner-occupied. Throughout the district, the historic elements of many properties are visible, yet unsympathetic renovations and additions have overshadowed the earlier fabric in many cases.

6. Landscape History

The landscaping in the Cleveland and Holloway neighborhoods also contributes to the historic unity of the districts. Large oak trees still line the streets as they did in the early years of the Twentieth Century (as seen in old photography). Many sidewalks and low retaining walls have also survived to help delineate the original lawn areas. These elements, in conjunction with the similar scale and mass of the remaining structures, make the Cleveland Street and Holloway Street Historic Districts a historically valuable asset for the City of Durham.

B. Boundary Description

The Cleveland Street and Holloway Street Local Historic Districts boundaries (see Map 2) are based on the assessment of the historic fabric of the neighborhood. The entire National Register District has been incorporated into the local district and four properties have been added. The boundary line begins at 208 Gray Street and goes west to Cleveland Street. The properties on the west side of Cleveland Street are included in the district up to and including 909 Cleveland, which becomes the northern-most property. The western boundary is formed by the rear property lines of all lots located on the west side of Cleveland Street and includes 703 Cleveland on the South. The boundary then crosses Cleveland Street to Mallard Street and the boundary becomes the rear property line of the 800 block of Cleveland Street and returns to 208 Gray Street. The Holloway area boundary incorporates 204 through 218 Dillard Street. The southern boundary is the rear property lines of 504 through 702 Holloway Street. The northern boundary is the rear property lines of 507 through 701 Holloway Street. See Map 2.

C. Historic Inventory and Analysis

During the first half of 1986, the City of Durham completed a survey and inventory of the entire Cleveland and Holloway Historic Districts. This work updates the earlier survey taken to list the areas as a National Register Historic Districts. Study areas were designated which encompassed the National Register boundaries and included the surrounding properties. An inventory data form was completed for each property, including historical, architectural, and landscape data, as well as photographs and other pertinent information. The City hired the consulting team of Claudia R. Brown and Jane Sheffield who completed a data form for each property within the Cleveland and Holloway Study Areas.

The information which resulted from this survey and the previous inventory was used to analyze the attributes and needs of the historic area, and to establish the final boundaries of the Local Historic

Districts. This section of the Preservation Plan addresses the existing conditions which make up the Cleveland Street and Holloway Street Historic Districts. The section is divided into six subsections: Criteria, Significance, Building Conditions, Architectural Styles, and Landscaping and Signage, and Present Zoning.

D. Criteria

It is important to establish clear criteria for judging both the significance and condition of structures within the Cleveland Street and Holloway Street Local Historic Districts. The following terms are used in this Preservation Plan to measure of each property's historical significance and condition. Further architectural terms are defined in the Design Guidelines (Section IV). The following significance terms are based on historical, architectural, or cultural merit:

- Pivotal:** Those properties which are unique or best examples of the qualities that make up the district.
- Contributing:** Those properties which contribute to or support the qualities that make up the district.
- Intrusive:** Those properties which have a negative impact on the integrity of the district.

The following terms relate to the physical condition of the properties:

- Excellent:** Those properties which exhibit outstanding visual and structural condition.
- Sound:** Those properties which exhibit good visual and structural condition (may need minor cosmetic repairs or maintenance).
- Marginally Deteriorated:** Those properties which exhibit fair or poor visual and/or structural condition (may need moderate repairs and maintenance).
- Deteriorated:** Those properties which exhibit very poor condition (need extensive repairs to upgrade condition).
- Dilapidated:** Those properties which may be beyond repair or partially destroyed.

The following list includes all of the existing primary structures that are located in the local district boundaries. The geographical distribution of historic significance and building conditions are shown on Maps 3 and 4.

7. Significance

Figure I and Map 3 show the dates and architectural significance of all the structures within the local historic district. These rankings and

construction dates help to determine the existing historic fabric of the overall district. From the chart and map we learn that the Cleveland Street and Holloway Street Historic Districts contains only one intrusive structure, and that all of the remaining structures are either pivotal or contributing. The historic significance of the districts is further accentuated by the fact that nearly 80 percent of the primary structures were constructed between 1880 and 1910. With 43 of 44 structures ranked pivotal or contributing and the majority of these over seventy years old, the Cleveland Street and Holloway Street Historic Districts become one of the most historically intact neighborhoods in Durham.

8. Building Conditions

Figure I and Map 4 also show the relative building conditions of all structures within the local historic district. The building condition rankings are a major concern for the protection of the districts' historic resources. Thirty properties are listed as sound or excellent which indicates generally good property maintenance; however, nine properties are deteriorated and five are dilapidated. All of these properties have shown a continual decline since the earlier National Register inventory prepared in 1983-84. Several homes no longer exist in the district, and some have received extensive damage due to neglect and fires. The local historic district status for this valuable area is being implemented to slow this deterioration and to re-establish this valuable part of Durham's past.

9. Architectural Styles

Further analysis of the inventory data indicates a number of similarities among the existing structures. 78 percent of all primary structures are two stories in height, and the majority of smaller homes were designed to exaggerate their vertical mass. A steep, hip roof was one way to emphasize this height, and 60 percent of all homes have this roof type. To further accentuate the upper areas of homes, dormer windows and attic gables with windows are prevalent throughout the district. Gables are present in various forms on 75 percent of the structures, including applied gables on hip roofs. These gables generally contain decorative attic vents and "barge boards" and many are pedimented. The gables and dormers with their decorative element were used to reflect individuality while retaining conformity with the district. The overall appearance of the district shows a similarity in mass and scale, which indicates a strong desire by the early builders to maintain a stately order in the neighborhood. This compatible use of mass and scale should be emphasized to designers of new buildings for the district.

In reviewing the architectural styles of the structures, an interesting mix appears. The predominant style is Queen Anne, and the Cleveland Street and Holloway Street Historic Districts has the largest concentration of this style in the City. The next most prominent styles are Colonial Revival and Neo-Colonial. A mix of Victorian Folk and "I House" styles make up the remaining structures with two notable exceptions. The building at 613 Holloway Street was the former O'Briant's Store and was built between 1910 and 1920. This two story brick building is standard commercial in style. The Leary-Coletta House

at 809 Cleveland Street is the only pure "Shingle Style" home in the neighborhood and was built in 1891. Even though the structures in the Cleveland/Holloway Historic District show a mix of styles, many of these homes in the district display similar individual features.

Nearly all structures in the district include large front porches and the majority wraparound one or both sides of the structure. About 20 percent of all homes contain an upper floor balcony or porch. The individual treatments of the porches vary with the architectural style of the primary structures, and many porches have had inappropriate non-historic details added (decorative wrought iron, lattice enclosed columns, etc.). Primary window treatments indicate that 1 over 1 and 2 over 2 are the most prevalent, with 6 over 6, 12 over 1, and other variations making up the remainder (see figure V for definitions of Window Types). Many designers added decorative small windows on the front of their homes. These windows were rondels, oval forms and small squares; and they generally contain beveled, etched or stained glass.

10. Landscaping and Signage

One of the most unifying features of the entire district is the landscaping. Street trees were always important to the neighborhood as exhibited by early photographs of the area. Very large oak trees, Willow Oaks predominantly, still line Cleveland Street and Holloway Street, providing a shading canopy that helps to tie the structures together. Other major trees used on individual lots include Crepe Myrtles and Southern Magnolias. Foundation plantings are prevalent throughout the district, yet many plantings are overgrown and obscure the features of the structures. Grassed lawns are part of every lot, and the fencing around front lawns is only seen on one Cleveland Street property. Low concrete retaining walls separating the lawn from the sidewalks are located throughout the area and should be maintained when possible. Street signs are the only permanent type of signs in the district.

11. Present Zoning

The present zoning of the Cleveland Street district is RA 7-16 and C-2; the present zoning of the Holloway Street area is C-2 and RA 12-18. (See Map 5: Present Zoning). RA 12-18 is an "apartment residential" zone allowing approximately 26.4 two bedroom units per acre. RA 7-16 is an "apartment residential" zone allowing approximately 26.4 two bedroom units per acre or 33.5 units per acre in buildings of four stories or more; and supporting commercial C-2 is a "general commercial" zone.

E. Summary

The synopsis of the inventory data indicates much about the past appearance of the neighborhood. The majority of all structures contribute to the historic fabric of the district. Some buildings are deteriorating rapidly; however, many are in acceptable condition. A wealth of details and architectural similarities exist throughout the district and landscaping over the years has remained historically stable. The assessment of this information was used to create the following

section of the Preservation Plan. The Historic Preservation Strategy (Section III) discusses the way the Cleveland Street and Holloway Street Historic Districts can become a vital part of Durham's Downtown area.

Figure I, Cleveland Street and Holloway Street Property Data

| Property | Date | Significance | Condition |
|-------------------|----------------|--------------|-----------|
| 813 Cleveland St | 1880's (early) | C | S |
| 703 Cleveland St | 1890's | C | E |
| 807 Cleveland St | 1890's | C | S |
| 809 Cleveland St | 1891 | P | E |
| 802 Cleveland St. | 1900 c. | C | S |
| 823 Cleveland St. | 1900 c. | C | MD |
| 901 Cleveland St. | 1900 c. | C | MD |
| 907 Cleveland St. | 1900 c. | C | S |
| 803 Cleveland St. | 1905 | C | S |
| 810 Cleveland St. | 1900-10 | C | S |
| 812 Cleveland St. | 1900-10 | C | MD |
| 909 Cleveland St. | 1900-10 | C | S |
| 206 Gray St. | 1900-10 | C | MD |
| 208 Gray St. | 1900-10 | C | MD |
| 801 Cleveland St. | 1907-10 | P | MD |
| 818 Cleveland St. | 1910 c. | C | DI |
| 820 Cleveland St. | 1910 c. | C | DI |
| 822 Cleveland St. | 1910 c. | C | DI |
| 525 Holloway St. | 1880's | C | S |
| 513 Holloway St. | 1890 c. | C | S |
| 514 Holloway St. | 1890 c. | C | S |
| 602 Holloway St. | 1890's | C | S |
| 606 Holloway St. | 1890's | C | DI |
| 204 Dillard St. | 1899 | P | S |
| 510 Holloway St. | 1900 c. | P | S |
| 523 Holloway St. | 1900 c. | C | S |
| 524 Holloway St. | 1900 c. | C | S |
| 527 Holloway St. | 1900 c. | C | S |
| 603 Holloway St. | 1900 c. | C | MD |
| 605 Holloway St. | 1900 | C | S |
| 611 Holloway St. | 1900 | C | S |
| 701 Holloway St. | 1900 c. | C | S |
| 702 Holloway St. | 1900 c. | C | MD |
| 521 Holloway St. | 1901 | C | S |
| 529 Holloway St. | 1901 | C | S |
| 520 Holloway St. | 1903 | C | S |
| 526 Holloway St. | 1900-10 | C | S |
| 206 Dillard St. | 1908-09 | P | MD |
| 509 Holloway St. | 1910 c. | C | DI |
| 517 Holloway St. | 1910-13 | C | S |
| 519 Holloway St. | 1910 c. | C | MD |
| 609 Holloway St. | 1910 | C | S |
| 516 Holloway St. | 1915-1920 | C | S |
| 613 Holloway St. | 1915-1920 | C | S |
| 804 Holloway St. | 1985 | I | E |

Legend:

P = Pivotal, E = Excellent, C = Contributing, and S = Sound;

I = Intrusive, MD = Marginally Deteriorated, D = Deteriorated, and DI = Dilapidated

Figure II, Typical Cleveland/Holloway Architectural Details

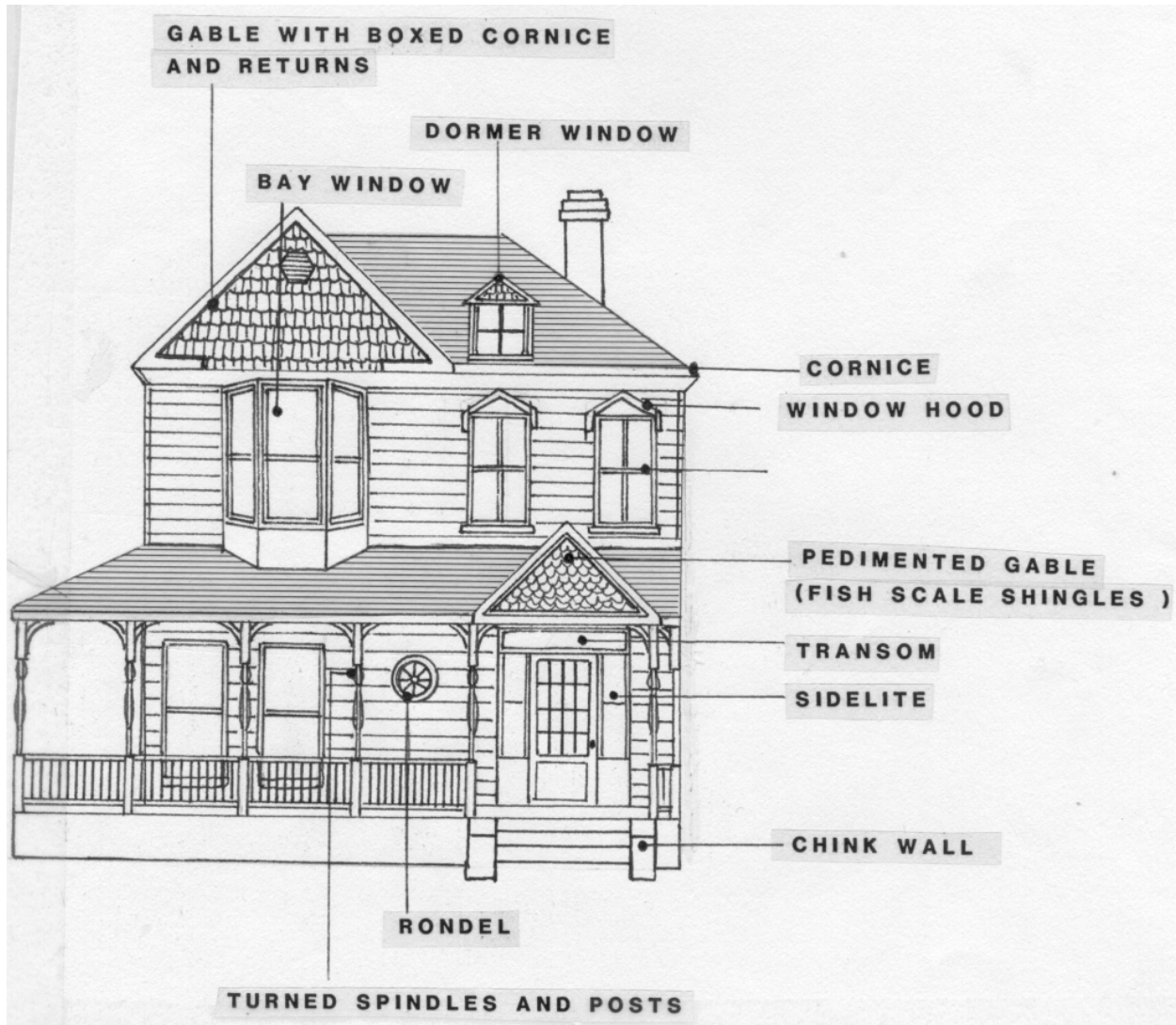
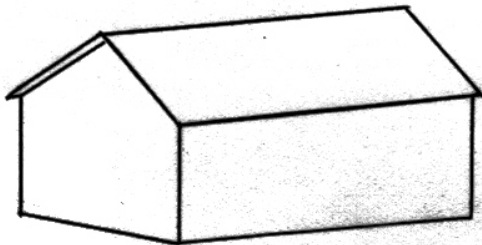
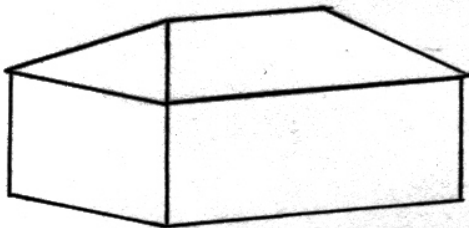


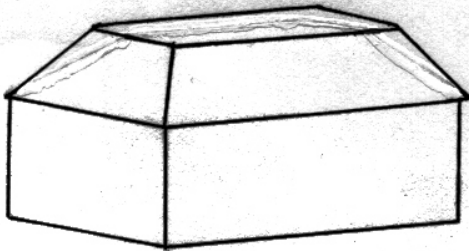
Figure III, Roof Types



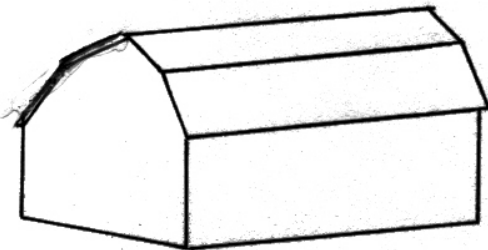
GABLE



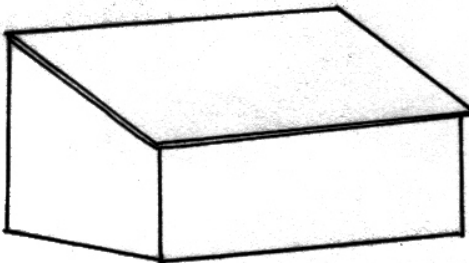
HIP



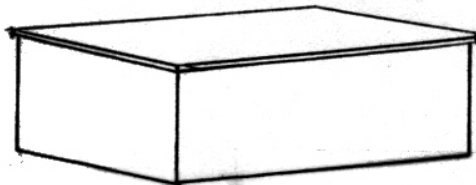
MANSARD



GAMBREL

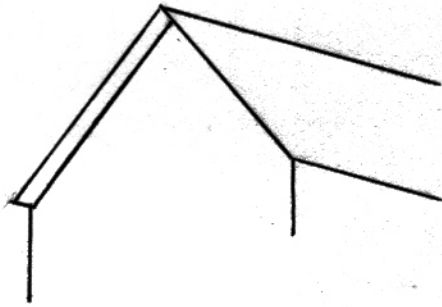


SHED

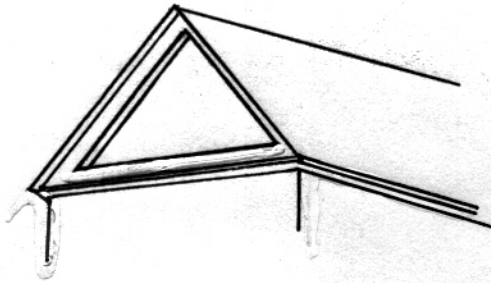


FLAT

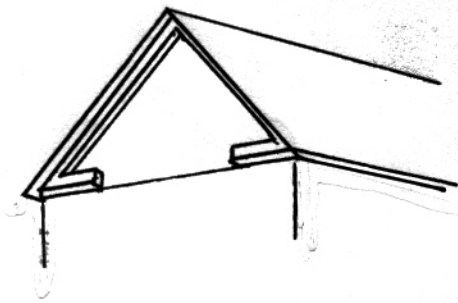
Figure IV, Gable Treatments



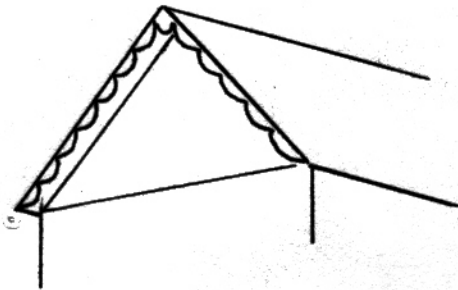
PLAIN GABLE



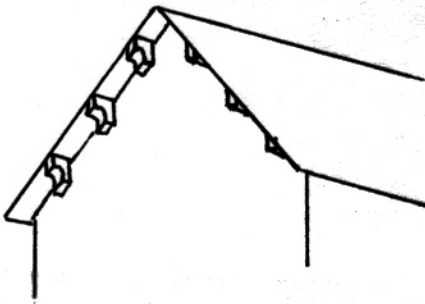
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**BOXED CORNICE
WITH RETURNS**

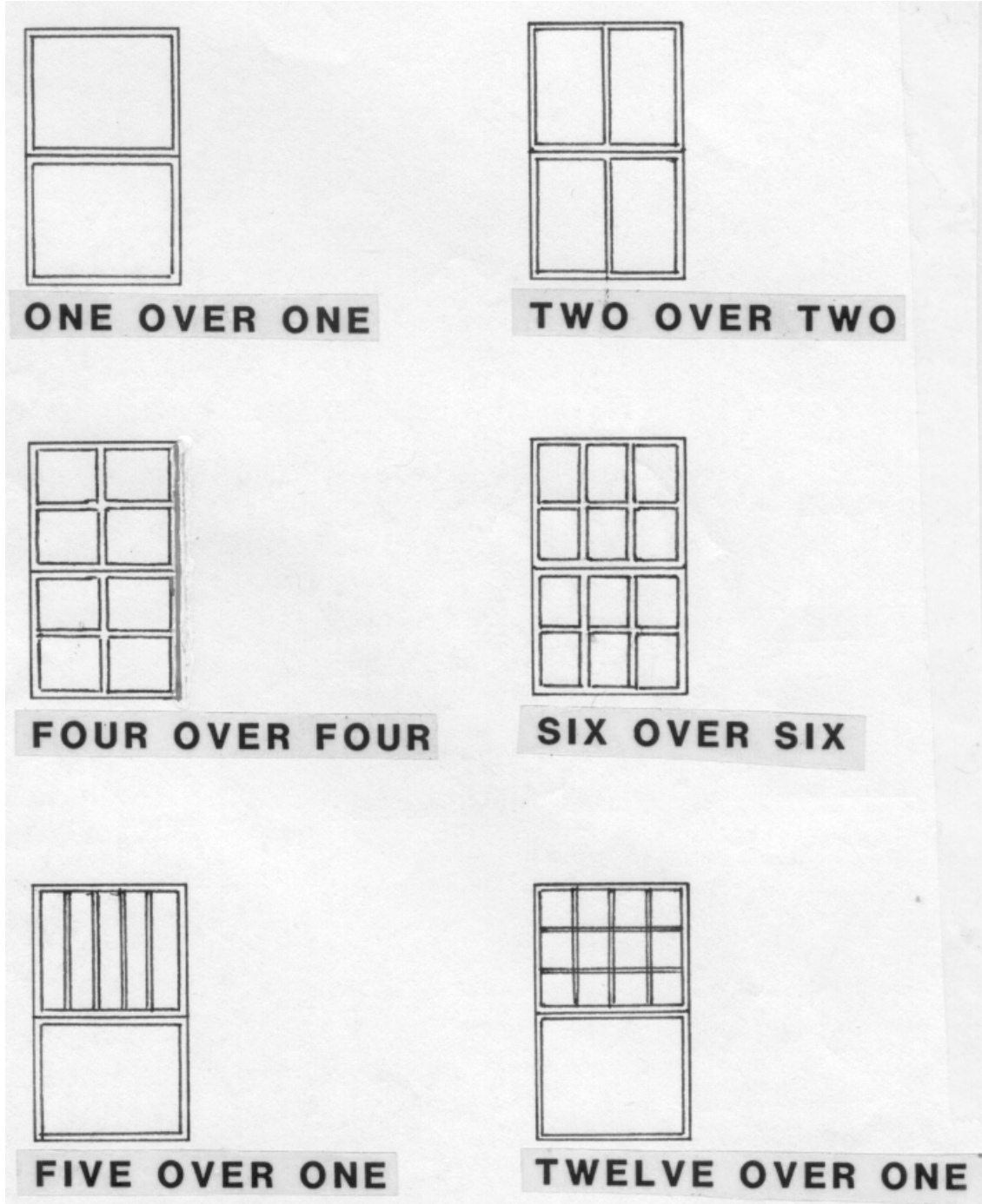


BARGEBOARD

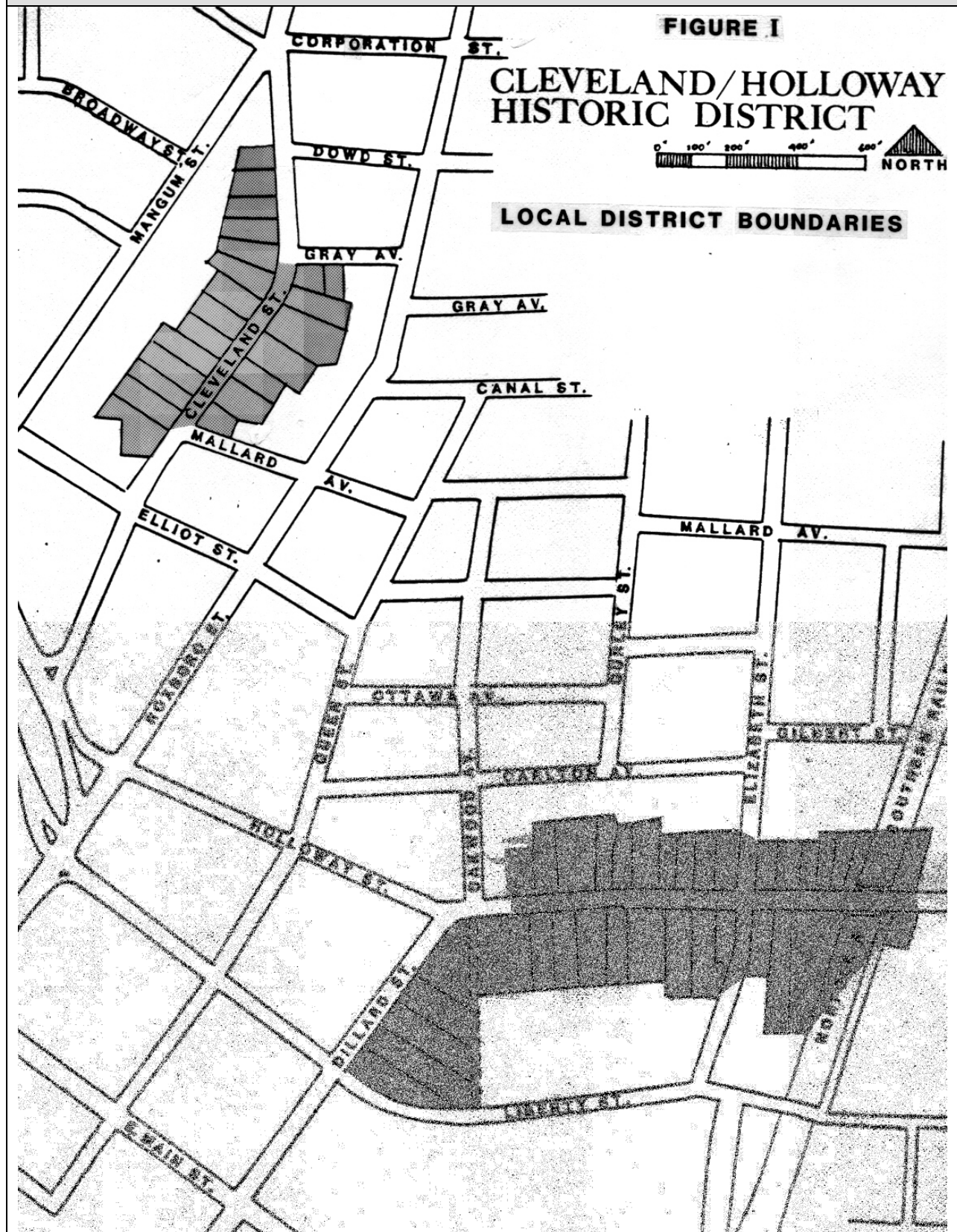


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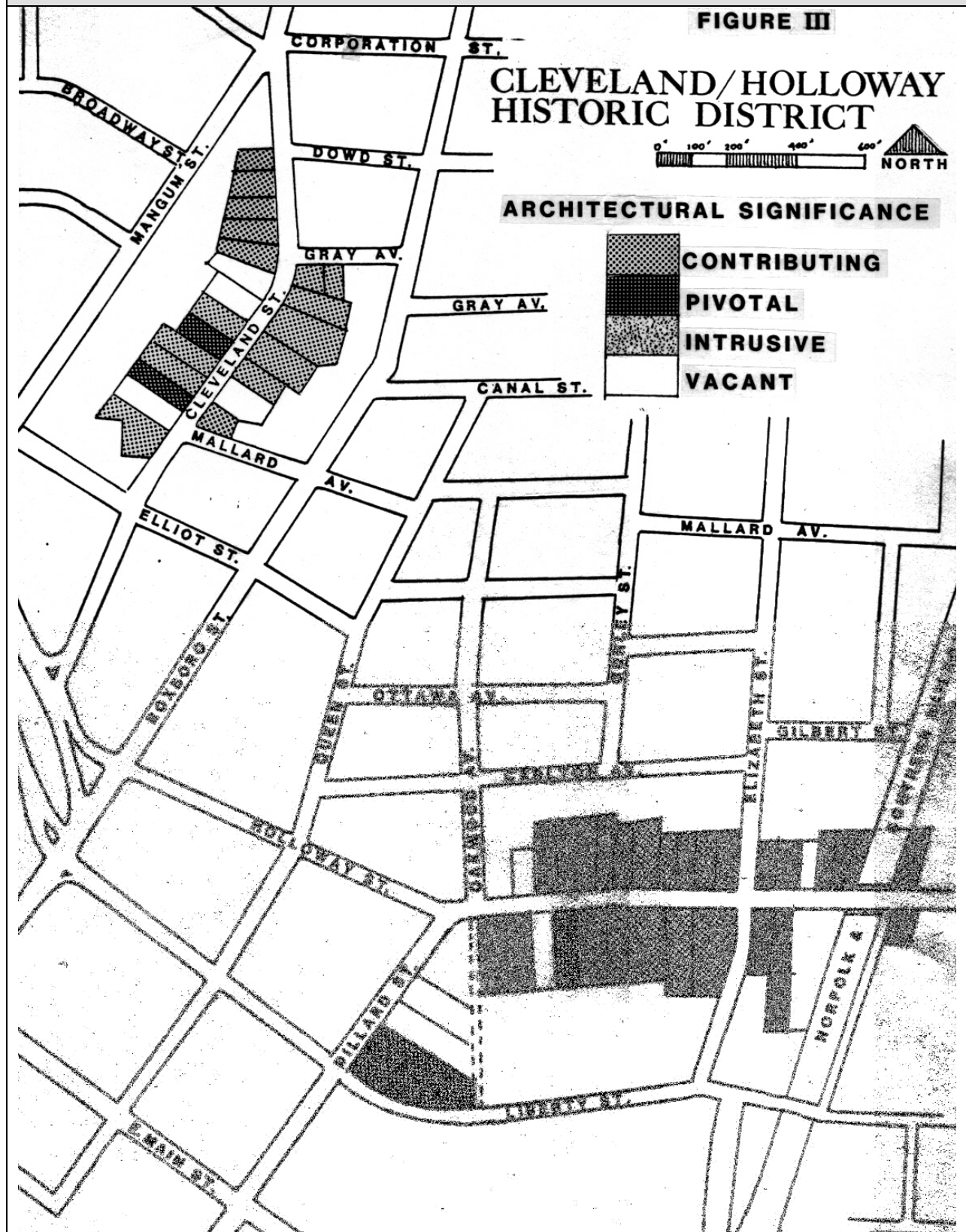
Figure V, Window Types



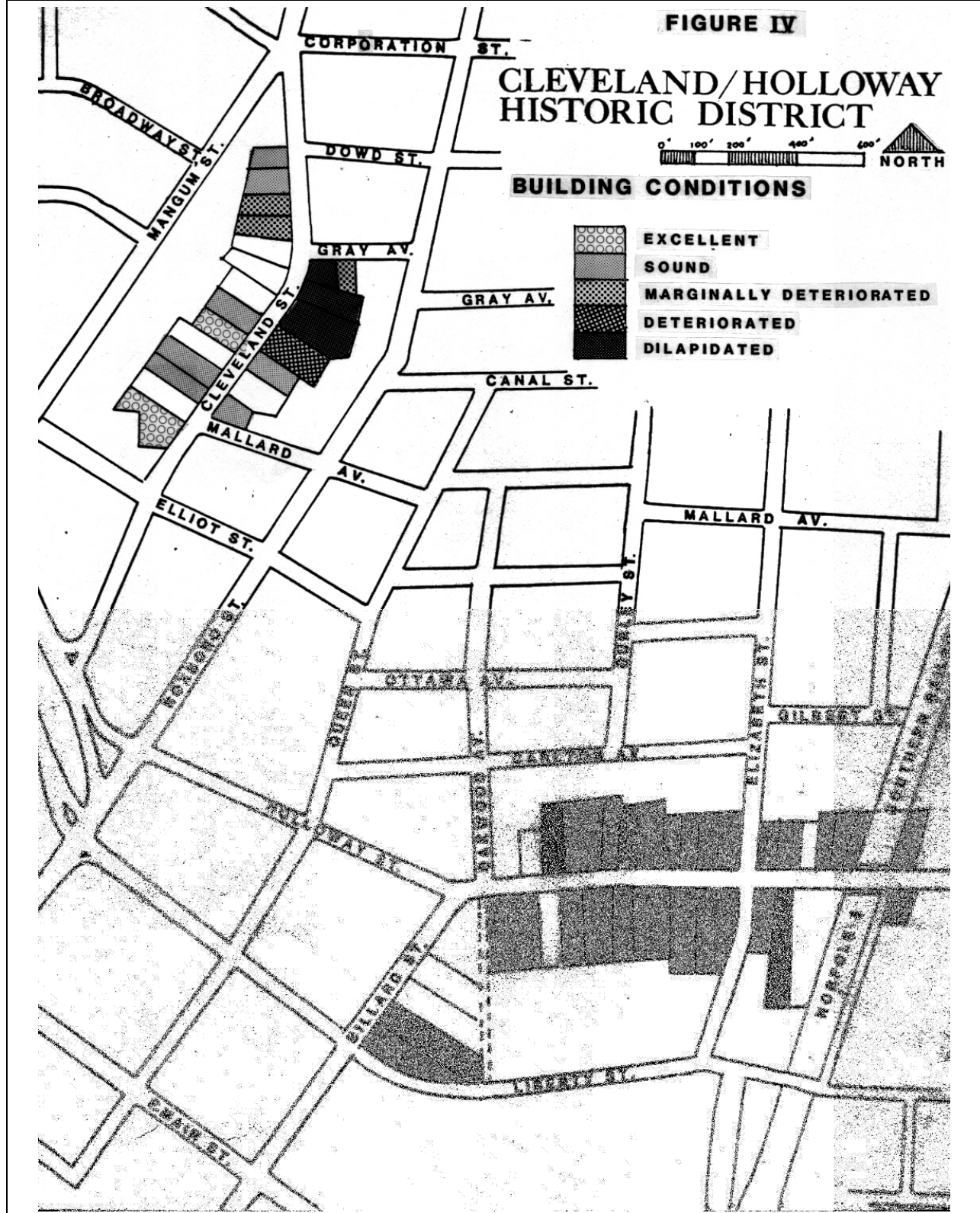
Map 2, Local District Boundaries



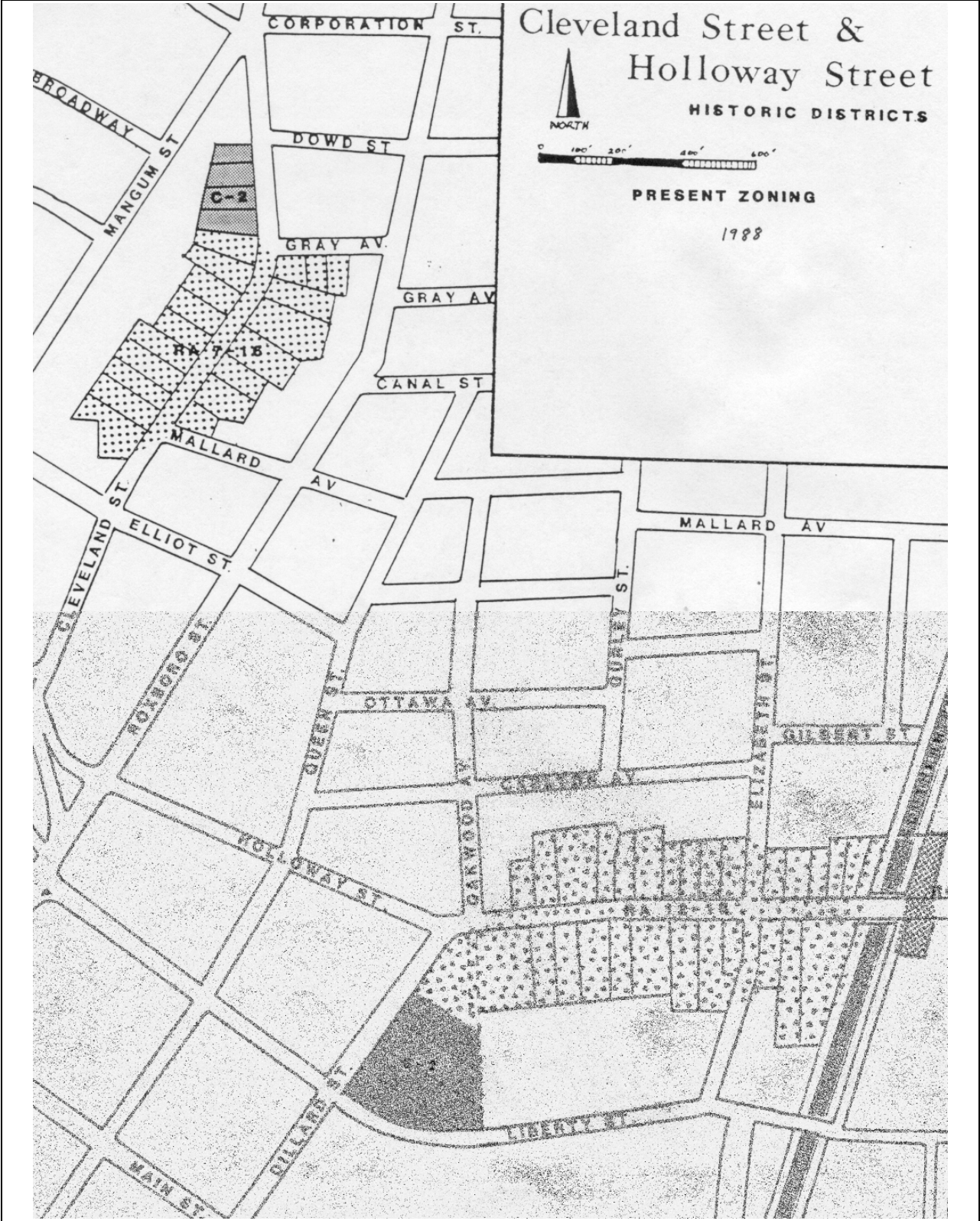
Map 3, Architectural Significance



Map 4, Building Conditions



Map 5, Present Zoning



Historic Preservation Strategy

A. *Introduction*

The strategy section of the Preservation Plan for the Cleveland and Holloway Historic Districts consists of the goal, policies and recommendations needed to maintain and re-establish the historic context of the neighborhood. The historic preservation goal is a general statement which indicates the desired end state or condition of the local historic districts. Following the goal is a list of policies for each district, which are specific statements of what posture the City should take to encourage historic preservation in the districts. The recommendations are the suggested means for acting on the policies. Policies and recommendations are provided separately for the Cleveland Street and Holloway Street districts because the historic district provisions of the Durham Zoning Ordinance require that the Preservation Plan outline a preservation strategy for each district. The goal, policies and recommendations will guide the Historic District Commission, other public bodies, property owners and developers as they make decisions regarding the future development and preservation of Cleveland and Holloway Historic District areas.

1. Historic Preservation Goal

The goal of the Cleveland Street and Holloway Street Historic Preservation Plan is a viable neighborhood with its historic heritage intact, preserved and displayed in its buildings and landscape, and a community which understands and respects that heritage. This goal addresses the physical elements of architecture in the districts, but also focuses on awareness in the Durham community and in the neighborhood of our historic resources.

The policies of the Cleveland Street and Holloway Street Historic Preservation Plan are grouped into six categories of preservation concern: Education, Regulation, Financial Assistance, Technical Assistance, and Planning Coordination. This categorization is not meant to reflect a priority; these policy areas are considered of equal importance in achieving the Plan's stated goal. Specific recommendations or actions are included for each policy as concrete steps to be taken by the City or other actors to implement the policies of the Plan.

B. Cleveland Street District Policies and Recommendations

Policy: Education

Provide information and educational resources to property owners, residents and the community at large about all aspects and implications of historic district designation and historic preservation.

Recommendations

- a. Develop an informational brochure for property owners and residents describing the historic district designation and how it affects physical modifications.
- b. Pursue the formation of an active neighborhood association in the Cleveland Street and Holloway Street neighborhood as a means of disseminating information and advocating the interests of the residents.
- c. Distribute to all property owners and residents in the district a copy of the Design Guidelines section of this Plan.
- d. Develop and conduct historic preservation rehabilitation workshops, oriented to the needs of district property owners and residents, to display and teach appropriate preservation techniques.

Discussion

Education of people affected by historic district designation is probably the single most important means of insuring its success in preserving the community's historic resources. Property owners in particular need to be aware of the restrictions applied to their properties and the protection afforded to their properties. Having property owners aware of the Certificate of Appropriateness requirement will help to alleviate problems of modifications being undertaken without historic review.

An informed citizenry is also an asset in preserving the historic resources in the Cleveland Street area. The community at large benefits from connecting Durham's past with the buildings and neighborhoods as they exist today. Knowing about the role of the Cleveland Street area in the City's history will aid in the understanding of why Durham is what is today.

The policies and recommendations outlined here emphasize a proactive approach to education in historic preservation. The City will pull together expertise of its staff, Commission members, the N.C. Division of Archives and History and other community resource persons as needed to support educational programs. These programs include brochures, audio-visual materials and workshops as well as basic information dissemination.

Policy: Regulation

Require the issuance of a Certificate of Appropriateness prior to the issuance of building permits for any exterior building or site modification. Use the Design Guidelines in this Plan as a basis for issuing Certificates of Appropriateness. Use the other authorities granted to the Historic District Commission, including delaying demolition, to preserve the historic heritage of the district. Enforce existing housing code and zoning requirements to preserve the character of the neighborhood and architectural heritage of the district.

Recommendations

- a. Provide to property owners and residents of the district, and the general public upon request an easy to understand copy of the Design Guidelines.
- b. Adopt Historic District Commission Rules of Procedures and administrative procedures to facilitate the fair and timely review of requests for Certificates of Appropriateness.
- c. Rezone from RA 7-16 and C-2 to RA 20-30 the lots facing Cleveland Street as suggested in the North Central Durham Plan.

Discussion

The major authority granted to the Historic District Commission is the issuance of Certificates of Appropriateness (COA) which protects the neighborhood from intrusive exterior treatments of buildings. The state enabling legislation and local ordinance already require that design guidelines be established to indicate what constitutes historically appropriate building modifications. These design guidelines and review criteria for the Cleveland Street Historic District are included in this Plan. To further protect the integrity of the district, the Commission may delay demolition within the district for up to 180 days, initiate and participate in negotiations to save buildings, propose changes in City policies affecting historic resources, and report violations. The Historic District Commission intends to take an active role in exercising its authority to protect the district.

As the pressures for downtown development increase, the zoning of the Cleveland Street area becomes a serious issue. Present zoning allows land uses, especially high density residential uses and general commercial uses, that if developed would threaten the integrity of the district. The changes in zoning recommended here attempt to restrict future development to a type more compatible with the general residential character of the neighborhood as well as its strategic location close to downtown. (These rezoning recommendations are also reflected in the North Central Durham Plan for the neighborhood).

Policy: Financial Assistance

Investigate, implement and publicize financial assistance to encourage property owners to maintain and preserve properties in the district.

Recommendations

- a. Continue to offer financial assistance for housing rehabilitation as part of Durham's community development program in target neighborhoods which include the Cleveland Street area.
- b. Investigate methods of establishing a higher priority for housing rehabilitation assistance to structures in local historic districts.
- c. Actively market the housing rehabilitation assistance programs available in the Cleveland Street area.
- d. Investigate the use of local tax incentives for the renovation of historic structures.
- e. Whenever possible, facilitate minorative public and private financing and fundraising efforts for physical improvements in the district.

Discussion

The City of Durham's Community Development program offers housing rehabilitation assistance for owner-occupied and rental occupied housing in target neighborhoods. The Cleveland Street area is within the Old Five Points and East End target neighborhoods. The City provides for owner-occupied housing rehabilitation from 18 percent to 100 percent of eligible rehabilitation costs (depending upon household size and income) up to \$20,000 for a single family structure. For investment property, the City provides 30 percent of eligible rehabilitation costs up to \$6,000 for a single family structure with an additional \$3,000 for additional units within the same structure. The City anticipates rehabilitating about 1200 dwelling units in the Old Five Points and East End neighborhoods during the next eight years. The City has committed to following the Secretary of Interior's "Standards for Rehabilitation" of National Register properties or National Register eligible properties in these neighborhoods.

The policies and recommendations of the Plan recognize that financing assistance needs may emerge that are not addressed by housing rehabilitation assistance. Likewise, sources of funding or fundraising opportunities which have not been anticipated may emerge in the future. The City should be prepared to develop those opportunities for innovative financing assistance as they arise.

Policy: Technical Assistance

Offer reasonable and timely technical assistance to property owners and developers for the design and implementation of restoration or new construction in the district.

Recommendations

- a. Maintain a historic preservation library and a file of knowledgeable consultants to assist district residents and the community at large in solving technical problems.
- b. Offer the technical expertise of the City staff and Historic District Commission members where appropriate to assist in solving technical problems.
- c. Facilitate the using of whatever technical assistance may be available from the N.C. Division of Archives and History.

Discussion

Often property owners find it difficult to deal with problems specific to their historic structures, in particular with the maintenance, repair or replacement of historic exterior elements. Frequently, out of frustration or ignorance, historic elements will be removed and replaced with incompatible materials.

Significant historic preservation expertise exists in the city staff, Historic District Commission members, state government and in the local community. The Cleveland Street Preservation Strategy acknowledges the importance of bringing together technical expertise and property owners planning renovation and/or new construction. But making the connection isn't sufficient; property owners can be expected to utilize such expertise only if it will not result in significant increases in inconvenience, development time or cost.

Policy: Economic Development

Promote appropriate new economic development opportunities in the historic district.

Recommendations

- a. Support the developments on new small-scale commercial activities in the Old Five Points area immediately north of the Cleveland Street district.
- b. Support other compatible new development on appropriately zoned land at the periphery of the district.

Discussion

Economic development opportunities in the Cleveland Street district are limited because no vacant developable land or business activity exist in the district. The recommendations generally focus on supporting adjacent economic development activities which are compatible with the residential character of the area. The Old Five Points Redevelopment Plan, adopted in

1986, defines a strategy, budget and timetable for a program of dilapidated house demolition, rehabilitation and development of a small shopping area between Corporation, Dowd, Mangum and Roxboro Streets. The Downtown Master Plan, currently being prepared, will suggest economic development potentials in the vicinity of the historic district.

Policy: Planning Coordination

Promote planning in and around the Cleveland Street Historic District to support and encourage historic preservation.

Recommendation

- a. Develop and implement small area plans for the North Central Durham area and for downtown Durham.
- b. Develop and implement a redevelopment plan for the Old Five Points area.

Discussion

Historic preservation objectives can best be achieved if the surrounding neighborhoods are viable and thriving. Planning activities which coordinate public and private development decisions will contribute to the neighborhood's stability. The proximity of these neighborhoods to the downtown area, and possible spillover effects of downtown development activity underscore the need to use small area plans to define the boundaries of the residential neighborhood and limit intrusions of incompatible uses. Likewise, planning activities oriented toward commercial and mixed use areas, i.e., Old Five Points and downtown, will compliment strategies to guide their redevelopment and/or recovery.

C. Holloway Street District Policies and Recommendations

Policy: Education

Provide information and educational resources to property owners, residents and the community at large about all aspects and implications of historic district designation and historic preservation.

Recommendations

- a. Develop an informational brochure for property owners and residents describing the historic district designation and how it effects physical modifications.
- b. Pursue the formation of an active neighborhood association in the Cleveland Street and Holloway Street neighborhood as a means of disseminating information and advocating the interests of the residents.
- c. Distribute to all property owners and residents in the district a copy of the Design Guidelines section of this Plan.
- d. Develop and conduct historic preservation rehabilitation workshops, oriented to the needs of district property

owners and residents, to display and teach appropriate preservation techniques.

Discussion

Education of people affected by historic district designation is probably the single most important means of insuring its success in preserving the community's historic resources. Property owners in particular need to be aware of the restrictions applied to their properties and the protection afforded to their properties. Having property owners aware of the Certificate of Appropriateness requirement will help to alleviate problems of modifications being undertaken without historic review.

An informed citizenry is also an asset in preserving the historic resources in the Holloway Street area. The community at large benefits from connecting Durham's past with the buildings and neighborhoods as they exist today. Knowing about the role of the Holloway Street area in the City's history will aid in the understanding of why Durham is what is today.

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Policy: Regulation

Require the issuance of a Certificate of Appropriateness prior to the issuance of building permits for any exterior building or site modification.

Use the Design Guidelines in this Plan as a basis for issuing Certificates of Appropriateness.

Use the other authorities granted to the Historic District Commission, including delaying demolition, to preserve the historic heritage of the district.

Enforce existing housing code and zoning requirements to preserve the character of the neighborhood and architectural heritage of the district.

Recommendations

- a. Provide to property owners and residents of the district, and the general public upon request an easy-to-understand copy of the Design Guidelines.
- b. Adopt Historic District Commission Rules of Procedures and administrative procedures to facilitate the fair and timely review of requests for Certificates of Appropriateness.

- c. Rezone from C-2, and RA 12-18 to O-I the five parcels in the district that front onto Dillard Street.
- d. Rezone from RA 12-18 to RG the lots facing Holloway Street between the Norfolk and Southern railroad right-of-way and Dillard Street.

Discussion

The major authority granted to the Historic District Commission is the issuance of Certificates of Appropriateness (COA) which protects the neighborhood from intrusive exterior treatments of buildings. The state enabling legislation and local ordinance already require that design guidelines be established to indicate what constitutes historically appropriate building modifications. These design guidelines and review criteria for the Holloway Street Historic District are included in this Plan. To further protect the integrity of the district, the Commission may delay demolition within the district for up to 180 days, initiate and participate in negotiations to same buildings, propose changes in City policies affecting historic resources, and report violations. The Historic District Commission intends to take an active role in exercising its authority to protect the district.

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Policy: Financial Assistance

Investigate, implement and publicize financial assistance to encourage property owners to maintain and preserve properties in the district.

Recommendations

- a. Continue to offer financial assistance for housing rehabilitation as part of Durham's community development program in target neighborhoods which include the Holloway Street area.
- b. Investigate methods of establishing a higher priority for housing rehabilitation assistance to structures in local historic districts.
- c. Actively market the housing rehabilitation assistance programs available in the Holloway Street area.
- d. Investigate the use of local tax incentives for the renovation of historic structures.

- e. Whenever possible, facilitate minorative public and private financing and fundraising efforts for physical improvements in the district.

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Discussion

Often property owners find it difficult to deal with problems specific to their historic structures, in particular with the maintenance, repair or replacement of historic exterior elements. Frequently, out of frustration or ignorance, historic

elements will be removed and replaced with incompatible materials.

Significant historic preservation expertise exists in the city staff, Historic District Commission members, state government and in the local community. The Holloway Street Preservation Strategy acknowledges the importance of bringing together technical expertise and property owners planning renovation and/or new construction. But making the connection isn't sufficient; property owners can be expected to utilize such expertise only if it will not result in significant increases in inconvenience, development time or cost.

Policy: Economic Development

Promote appropriate new economic development opportunities in the historic district.

Recommendations

- a. Support office or institutional development on vacant property facing Dillard Street in the district.
- b. Support the developments on new small-scale commercial activities in the Old Five Points area north of the district.
- c. Support other compatible new development on appropriately zoned land at the periphery of the district.

Discussion

Economic development opportunities in the Holloway Street district are limited because no vacant developable land or business activity exist in the district. The recommendations generally focus on supporting adjacent economic development activities which are compatible with the residential character of the area. The Old Five Points Redevelopment Plan, adopted in 1986 defines a strategy, budget and timetable for a program of dilapidated house demolition, rehabilitation and development of a small shopping area between Corporation, Dowd, Mangum and Roxboro Streets. The Downtown Master Plan, currently being prepared, will suggest economic development potentials in the vicinity of the historic district.

Policy: Planning Coordination

Promote planning in and around the Holloway Street Historic District to support and encourage historic preservation.

Recommendation

- a. Develop and implement small area plans for the North Central Durham area and for downtown Durham.
- b. Develop and implement a redevelopment plan for the Old Five Points area.

Discussion

Historic preservation objectives can best be achieved if the surrounding neighborhoods are viable and thriving. Planning activities which coordinate public and private development decisions will contribute to the neighborhood's stability. The proximity of these neighborhoods to the downtown area, and possible spill-over effects of downtown development activity underscore the need to use small area plans to define the boundaries of the residential neighborhood and limit intrusions of incompatible uses. Likewise, planning activities oriented toward commercial and mixed use areas, i.e., Old Five Points and downtown, will compliment strategies to guide their redevelopment and/or recovery.

Principles and Review Criteria for COAs

A. *Introduction*

The preservation of a city's historic fabric is a continuing concern in the face of growth and development. The City of Durham has the opportunity with its Historic District Overlay Zone -- to provide a means of achieving a sound policy for rehabilitation, new construction, landscaping and signage within the designated historic districts. Durham presently has fifteen National Register Historic Districts throughout the city. The Historic District Overlay Zone allows these districts and others to become designated Local Historic Districts. When these districts are designated, the individual properties located within Local District's boundaries are subject to the following:

No exterior construction, alteration, restoration, or rehabilitation activities affecting appearance may be conducted within the historic district without the applicant first obtaining a Certificate of Appropriateness or a Master Certificate of Appropriateness from the Historic District Commission. (Durham City Code, Zoning Ordinance, Section 24-4.D.6.)

These general design guidelines were created primarily for historic district property owners and builders to provide a better understanding of the criteria which the Historic District Commission uses when granting Certificates of Appropriateness. The basic goal of these general guidelines is to help insure the integrity of Durham's historic areas by promoting sensitive rehabilitation and harmonious new construction.

The various sections of the Historic District preservation plan in conjunction with these design guidelines will prove to be beneficial during the earliest stages of planning and design phases of historic district construction projects.

Three documents provide the basic framework for these design guidelines: the Secretary of the Interior's "Standards for Rehabilitation", the State of North Carolina General Enabling Legislation (G.S. 160A-395 through 399), and the Durham City Zoning Ordinance.

The Secretary's Standards were created to assess historic preservation projects which involved Federal and State funds and/or tax incentives. These standards are used nationwide and form the core of these design guidelines. The State Enabling Legislation (G.S. 160A-395 through 399) grants municipalities the right to create local historic

districts and to create commissions to oversee these areas. The Durham City Zoning Ordinance, in its amendment creating the Historic District Overlay Zone (September 6, 1984, See Appendix C), spells out the details required for the Preservation Plans and Design Guidelines.

B. *Standards for Rehabilitation*

The Secretary of the Interior's "Standards for Rehabilitation" includes the following basic guidelines which provide the criteria by which the Historic District Commission will review projects for Certificates of Appropriateness.

| | |
|--|---|
| Compatible Use | Every reasonable effort should be made to provide compatible use for a property that requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose. |
| Distinguishing Qualities | The distinguishing original qualities or character of a building, structure, or site and its environment should not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible. |
| Historical Time Frame | All buildings, structures and sites should be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance should be discouraged. |
| Historical Changes | Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right and this significance should be recognized and respected. |
| Distinctive Features/ Skilled Craftsmanship | Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site, should be treated with sensitivity. |

**Deteriorated
Architectural
Features**

Deteriorated architectural features should be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

Surface Cleaning

The surface cleaning of structures should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials should not be undertaken.

**Archaeological
Resources**

Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any acquisition, protection, stabilization, preservation, rehabilitation, restoration, or reconstruction project.

**Contemporary
Design for Additions**

Contemporary design for additions to existing structures or landscaping shall not be discouraged, if such design is compatible with the size, color, material, and character of the existing structure and surrounding neighborhood environment.

**New Additions and
Alterations**

Whenever possible, new additions or alterations to structures shall be done in such a manner that, if they were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

The Secretary of the Interior's "Standards for Rehabilitation" also includes a set of guidelines that elaborate on these standards. Property owners should follow the Secretary's Standards when deciding on any renovation within the Historic District. The following guidelines for rehabilitation and new construction are general and are not intended to address every specific renovation concern.

C. Local Review Criteria

The following review criteria are created for property owners to help preserve, maintain, and enhance the historic character of their district. The Historic District Commission will refer to the review criteria and the Secretary of the Interior Standards in reviewing applications for Certificates of Appropriateness.

1. Proportion and Scale

Height

Existing Character. All structures in the Districts are one to three stories in height.

Guidelines. New buildings and additions to existing structures should not exceed the height of surrounding building.

Scale

Existing Character. All structures relate well to the human scale. The largest buildings break up the vertical mass by the use of details, roof lines, porches and materials.

Guidelines. New buildings and additions should assume the general scale of district structures.

2. Mass

a. Form and Bulk

Existing Character. Most buildings have complex shapes and both symmetrical and asymmetrical treatments of facades is evident. Most structures have large expanses of walls on street facades broken up by details and porches. Vertical and horizontal emphasis is found frequently on individual structures.

Guidelines. New buildings should exhibit the general form and bulk of adjoining structures in the block face. New buildings should follow the general vertical and horizontal emphasis found an adjoining buildings. Large expanses of walls should be designed to minimize the bulk.

b. Additions

Existing Character. Many additions to original buildings have taken place in the district. Large additions are generally located to the rear of the original structures. Several structures have enclosed original porches in an unsympathetic manner.

Guidelines. Additions should harmonize with the design of the original facades. Enclosing street facing porches

will be discouraged. Additions should be attached to the rear of the existing structure when possible.

3. Roofs, Shapes and Pitch

Existing Character. The majority of structures exhibit hip or gable roofs. Gables are also frequently used to breakup the mass of roofs. The majority of roofs are steeply pitched by various degrees.

Guidelines. New roofs should have a steep pitch compatible with those found in the block face. Styles for new roofs shall be compatible with hip and gable roofs.

4. Chimneys

Existing Character. Chimneys are often tall and decorated with corbelled brick or other details at the top. More than one chimney is found frequently on the same structure.

Guidelines. New chimneys shall harmonize with the scale, design, and materials of those on adjoining structure.

5. Window

a. Types

Existing Character. Window treatments in the district are generally double-hung sash type with 1 over 1 and 2 overglass treatment predominate. Multiple panes of glass also appear frequently. Small rondels, transoms and side-lites accentuate many entrances.

Guidelines. Window types should be consistent with the style of the structure. Double-hung sash type windows are preferred for new construction. Storm windows should conform by color, size and style with the existing windows. Storm windows should not disguise or hide original windows. Avoid unpainted aluminum storm windows.

b. Shape and Proportion

Existing Character. Generally, windows in the district are tall and narrow with a vertical emphasis.

Guidelines. New windows should conform to the general shape and proportion of those found on neighboring structures.

c. Rhythm

Existing Character. Generally a rhythm is found in looking at the windows in a block face. Windows tend to be the same heights and shapes, and spacing between windows is consistent.

Guidelines. New windows should reflect any rhythm found in the block face and adjacent structures.

d. Shutters and Other Details

Existing Character. Non-functional shutters are found on few buildings in the district. Various decorative elements (hoods, cornices, etc.) are found throughout the district.

Guidelines. Avoid using non-functional shutters on new or existing structures. Maintain all original window details when possible or replace with similar materials and style. Awnings, if used, should be canvass or similar material. Aluminum type awnings should be avoided.

6. Doorways

Existing Character. Generally main entrance doors have prominent decorative elements. A mix of styles based on solid paneled wood is common for doors. Several structures include wood doors with glass (panes, stained, beveled, etc.) in the upper half. Transoms, sidelights, and heavy trim accentuate most entrances.

Guidelines. Doors should be consistent with the style of the building. Avoid flat-surfaced doors. Storm doors, screen doors and other outer doors should be compatible in style and color and should not obstruct original doors. Avoid unpainted aluminum for outer doors.

7. Porches and Stairs

a. Porches

Existing Character. All historic residential structures in the district have covered porches located on the front facade. These porches vary greatly in size and configuration. Most have decorative columns and railings of varied designs.

Guidelines. Porches should be retained on existing structures. Porches should normally be included on new buildings. Strive for appropriate, compatible details on porches.

b. Stairs

Existing Character. Stairs and steps on district structures are constructed of wood, concrete, and brick. Rails are not prevalent on front steps. (Several homes include visually intrusive steel fire escapes.)

Guidelines. Front facade stairs and steps should be constructed of wood, brick, or concrete. If rails are needed they should be compatible with the design of the building. Avoid steel fire escapes (when necessary, place fire escapes on the rear of the structure).

8. Materials

a. Exterior Walls, Trim, and Foundations

Existing Character. The primary building material is wood siding. Horizontally placed weatherboard is found throughout the district. Brick and other materials are found

infrequently except on foundations. Aluminum and vinyl siding and asbestos shingles have been added to several structures. Wood, shakes and shingles are found on many buildings usually in gables.

Guidelines. Use materials compatible with the fabric of the district. Avoid aluminum and vinyl siding and asbestos shingles. Avoid exposed concrete block. Avoid plastic and uncharacteristic materials.

b. Roofs

Existing Character. Roofing materials include seamed tins, patterned pressed tin, slate, wood, and composition shingles.

Guidelines. Replace deteriorating roofs with original material if possible. Use materials which are compatible with the style of the structure and surrounding roof types. Contemporary elements (solar panels, skylights, attic vents) should be placed on the backside of the roof.

9. Colors

Existing Character. Various colors are used throughout the district.

Guidelines. Choose a color scheme based on original colors if possible. Overall color should coordinate with roof color. Trim should be a different but harmonious color with the overall structure. Avoid high gloss paints. Avoid white and light composite shingles for roofs. The Planning and Community Development Department has a list of suggested colors and color combinations for those owners who seek their advice.

10. Out-Buildings

Existing Character. Many properties in the district have existing garages and storage buildings at the side or rear of the structures. These buildings are generally constructed of wood.

Guidelines. Maintain any historic structures on the site. Avoid metal storage buildings. Place structures in the rear of the property when possible. Outbuildings should harmonize with style and materials of primary structure on property.

11. Orientation and Setback

Existing Character. All historic structures in the district are oriented with the main entrance facing the street. Setback has been relatively uniform over the years.

Guidelines. All zoning regulations for setback, side yards, and rear yards shall be observed. All new construction shall have the main entrance facade oriented to the street (the street of address for a property). Avoid altering existing

topography and removing existing vegetation when placing the building.

12. Driveways and Walkways

Existing Character. The district includes concrete, gravel, and paving strip driveways predominantly. Individual sidewalks are concrete, stepping stones, brick and gravel. Public sidewalks are located on both sides of the streets. (Cleveland Street has median strips between the sidewalks and the street).

Guidelines. Driveways should be constructed of concrete, brick, gravel, or paving strips. Driveways must conform to existing City regulations. Individual sidewalks should be constructed of concrete, brick, gravel or stepping stones. Sidewalks should be coordinated with the style of the building and its landscaping. Avoid the use of asphalt for sidewalks. These guidelines apply to public and private driveways and sidewalks.

13. Fences and Walls

Existing Character. Fencing in the district is generally wood or chain-link. One historic cast iron fence is located on Cleveland Street. Walls in the district are constructed of concrete, brick and concrete block. Many properties display a low decorative retaining wall of concrete which separates the lawns from the sidewalks.

Guidelines. Fences and walls shall conform to the style of the structure. Avoid chain link fences and screen existing fences of this type with shrubs, hedges, or vines. Avoid split rail and basket weave fencing. Use appropriate fences and walls to define individual properties. Fences should be constructed of wood (or iron under certain circumstances). Walls should be constructed of brick, concrete, or stone.

14. Lighting

Existing Character. Street and porch lights provide most of the light in the district.

Guidelines. Lighting fixtures should be compatible with the style of the building and landscaping. Use lights to illuminate intersections of public and private walkways. Conceal light fixtures which are undecorated.

15. Signs

Existing Character. Few permanent signs are found in the district.

Guidelines. Signs must conform to City of Durham regulations. Permanent signs should conform to the fabric of the district. Temporary signs (real estate, political campaign, etc.) are allowed.

16. Vegetation

Existing Character. Large canopy trees (primarily Oaks and Maples) are historically part of the district streetscape. Plantings are also found in a variety of ways on individual properties. Magnolias and other flowering trees and shrubs are also prevalent. Grassed lawns are common to the district.

Guidelines. Plant new canopy trees of similar type to replace diseased and dying trees. Maintain existing vegetation. Continue to use plantings to enhance the historic structures and to define individual properties. The Planning Department Staff maintains a list of the appropriate trees, shrubs, and groundcovers for the property owners' use.

17. Public Facilities

Existing Character. Utility lines are located overhead on standard utility poles. Public signage in the districts is limited to traffic and Downtown Loop signs. The Loop signs are large and straddle the full width of the sidewalks on Holloway Street. Curbs are constructed of granite and concrete. Public Streets are asphalt and the public sidewalks are concrete.

Guidelines. The utility companies and the City of Durham should consult the Historic District Commission before altering the appearance of any existing public facilities, utilities or spaces within the Historic Districts. The impact of signs, utility lines, and other contemporary public facilities on the Historic Districts should be minimized as much as possible.

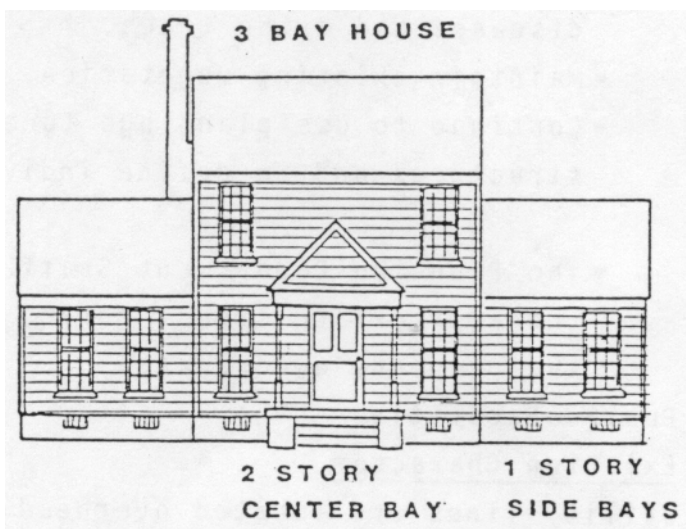
Appendices

A. Glossary

Familiarity with the following terms will contribute to a better understanding of the nature of these guidelines. Further definitions are found in the Preservation Plans for the various Local Historic Districts.

BAY

A visual division on the facade of a building based on underlying structural members.

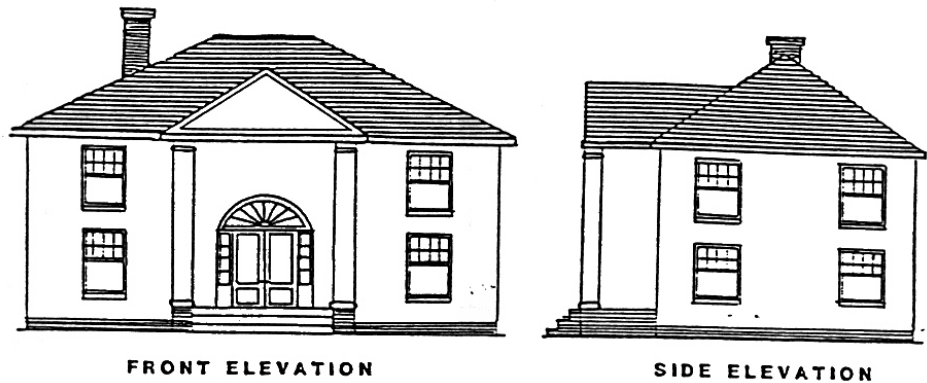


BLOCK FACE

The entire block as viewed from the street; including streetscape, building facades, landscaping, fronted side yards, and utilities (usually shown in elevation drawings).

ELEVATION

The exterior vertical faces of a structure shown in drawings.



FAÇADE

The face or front of a building.

FENESTRATION

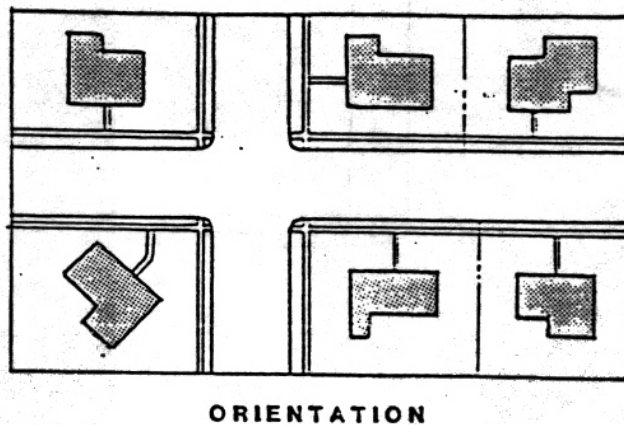
The arrangement of windows and openings on a building.

FOOTPRINT

The perimeter or outline of a structure as it is positioned on the land in a plan.

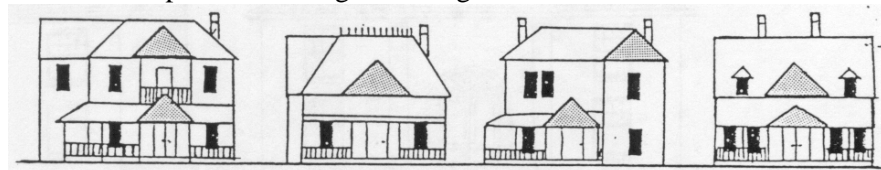
ORIENTATION

The directional placement of a structure to its setting, the street and other structures



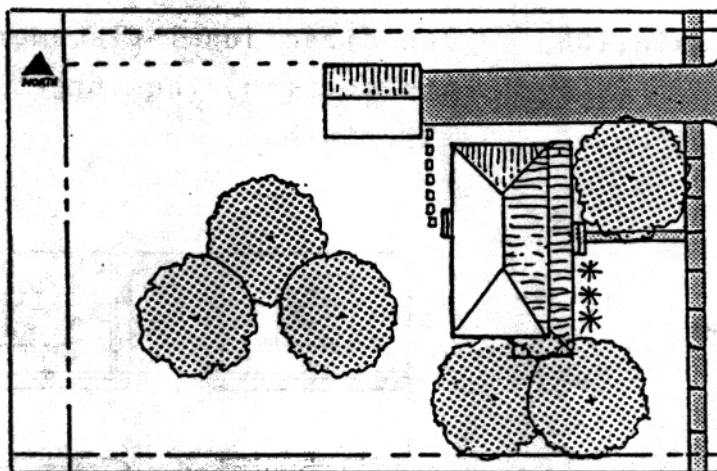
PATTERN

The various forms (materials, windows, buildings, etc.) arranged in a rhythmic manner that is repeated on a single building or a block-face.



PLAN

A drawing showing the building and its setting on a horizontal plane.



REHABILITATION

Making alterations and repairs to a structure (of any age) for a new use while retaining its original character.

RENOVATION

A general term meaning the renewal, rehabilitation or restoration of an historic building.

RESTORATION

Recreating the appearance of a structure or site from a particular period of time in its history by replacing lost elements and removing later ones.

SCALE

The relationship of the mass and size of a structure to other buildings and humans.

STREETSCAPE

The right of way of a street or the view of the entire street including curbs, sidewalks, landscaping, utilities, street furniture and structures.

TEXTURE

The building and landscape materials (brick, stone, siding, concrete, groundcovers, etc.) which are found in a district, block or site.

B. Reference Materials

1. Durham History

- a. Durham: A Pictorial History, by Joel A. Kostgu, Norfolk: Donning Press, 1978.
- b. The Durham Architectural and Historic Inventory, by Claudia Roberts-Brown, Diane Lea, Robert M. Leary, Robert M. Leary and Associates, Durham: City of Durham, North Carolina, 1982.
- c. The Story of Durham, by W. K. Boyd, Durham: Duke University Press, 1925.

2. Architectural History and Renovation

- a. All About Old Buildings: The Whole Preservation Catalog, by Diane Maddex, editor, Washington, D.C.: The Preservation Press, 1985.
- b. The Brown Book: A Directory of Preservation Information, by Diane Maddex, editor, with Ellen R. Marsh, Washington, D.C.: The Preservation Press, 1983.
- c. Built in the U.S.A., by Diane Maddex, editor, Washington, D.C.: The Preservation Press, 1985.
- d. Old and New Architecture: Design Relationship, National Trust for Historic Preservation, Washington, D.C.: The Preservation Press, 1980.
- e. The Restoration Manual, by Orin M. Bullock, Norwalk, Ct.: Silvermine Publishers, Inc., 1966.
- f. What Style Is It? A Guide to American Architecture, by John Poppeliers, S. Allen Chambers, Nancy B. Schwartz, Washington, D.C.: The Preservation Press, 1978.

C. *Historic District Overlay Zone*

Durham Zoning Ordinance, Section 24-4.D.6

A. Purpose.

The Historic District (hereinafter referred to as the "District") is one of the most valued and important assets of Durham. It is established for the purpose of protecting and conserving the heritage of Durham and Durham County and the State of North Carolina; for the purpose of preserving the social, economic, cultural, political, and architectural history of the District and its individual properties; for the purpose of promoting the education, pleasure and enrichment of residents in the District and Durham City and County and the State as a whole; for the purpose of encouraging tourism and increased commercial activity; for the purpose of fostering civic beauty; and for the purpose of stabilizing and enhancing property values throughout the District as a whole, thus contributing to the improvement of the general health and welfare of Durham and any residents of the District.

B. Historic District Establishment.

The Historic District is hereby established as an overlay zoning district. The Durham City Council may designate one or more geographic areas as an Historic District and indicate the extent and boundaries of any such area on the official Zoning Map of the City of Durham.

1. Eligibility for Establishing Areas as an Historic District.

Any area cited as a potential historic district by the Durham City Council or any area determined by the North Carolina Division of Archives and History to be eligible for the inclusion on the National Register of Historic Places may be considered for designation as an historic district.

2. Initiation of Requests for Establishing a District.

Requests for establishment of a District may be made (a) by petition of more than 25 percent of the property owners in the proposed district; or (b) by initiative of the City of Durham. When the City of Durham initiates the request for the establishment of a district, it shall notify record property owners in the proposed district prior to the setting of any public hearings before the City Council concerning the establishment of the district.

3. Procedures for Considering a Request for Establishing a District or for Extending an Existing District's Boundaries.

Upon the filing of a petition from property owners or a City-initiated request, the following steps shall apply to the consideration of the proposed district.

- a. The Director of Planning and Community Development shall publish notice that a request has been filed and will be considered by the Historic District Commission at a specified date and time.
- b. The Historic District Commission shall conduct a preliminary consideration of the request and report its recommendation to the Director of Planning and Community Development.

- c. The Director of Planning and Community Development shall prepare an Historic District Preservation Plan if the Historic District Commission recommends the establishment of the proposed Historic District.
If the decision of the Historic District Commission is negative, the Director of Planning and Community Development shall report the negative recommendation to the City Council as an information item. The City Council may accept the recommendation of the Historic District Commission or it may order the procedures for review of the proposed district as if the Historic District Commission recommendation had been positive.
- d. The State Division of Archives and History shall review the Historic District Preservation Plan.
- e. The Director of Planning and Community Development shall publish notice that the establishment of an Historic District and the adoption of an Historic District Preservation Plan will be considered by the Historic District Commission at a specified date and time.
- f. The Historic District Commission shall review the proposed district and recommend denial or designation of the area.
- g. The Planning and Zoning Commission shall consider both the request for establishment of the District and the Historic District Preservation Plan.
- h. The City Council shall set a public hearing and notify property owners within the proposed district of the public hearing.
- i. The City Council shall hold a public hearing to consider both the request for establishment of a district and the Historic District Preservation Plan. The protest petition procedures as established by Section 24-22.D.3 of the Zoning Ordinance shall apply to the designation or amendment of an historic district.

4. Requirement for Historic District Preservation Plan.

An Historic District Preservation Plan shall include an historic significance investigation and boundary description for the district as required in G.S. 160A-395; principles and guidelines for certificates of appropriateness as required in G.S. 160A-397 and referred to in this ordinance in Sections 9.1 and 9.2; and a preservation strategy tailored to the individual needs of the specific area.

The preservation strategy shall include, but not be limited to the following elements:

- a. The need for the District in that area, including the specific reasons why the regulatory provisions of this Section should be applied in order to effectively accomplish the preservation of that area;
- b. The means by which existence of the District will be publicized to District property owners and to the general public;
- c. New elements. The principles, design guidelines, and criteria to be followed in the district for exterior activities involving new construction, alteration, restoration, or rehabilitation and which shall be the basis for the Commission's review and action upon an application for a certificate of appropriateness.
- d. The means by which technical assistance will be offered to property owners of the proposed District by the Historic District Commission, City staff or other groups;
- e. A description of the various financial incentives that are proposed for use in promoting preservation activities within the District, how those incentives would be utilized and how property owners will be made aware of them;
- f. A description of what, if any, measures the Historic District Commission, the City

staff or other groups will take to encourage economic activity and development which will be conducive to preservation activities within the District.

The Historic District Commission shall forward its recommendation on District establishment to the Planning and Zoning Commission or City Council with a recommended Historic District Preservation Plan. The Historic District Preservation Plan shall be part of the consideration of the District establishment. When the City Council designates an area as an historic district, the Historic District Preservation Plan for the particular district shall become City policy and all appropriate public bodies or administrative officials cited as having implementation responsibilities shall be directed to use their best efforts to assure the effective implementation of the plan as it is written.

C. Permitted Uses.

The Historic District is a zone which is superimposed on the City zoning map. Permitted land uses are determined by the Zoning Ordinance Table of Permitted Uses of the zoning classification indicated on the base zoning map. The Historic District overlay zone controls the manner in which certain construction or repair activities may occur; not the uses for which they are constructed.

D. Construction and Restoration, Activities Permitted in the Historic District.

No exterior construction, alteration, restoration, or rehabilitation activities affecting appearance may be conducted within the historic district without the applicant first obtaining a Certificate of Appropriateness or a Master Certificate of Appropriateness from the Historic District Commission.

Work done by the City and by public utility companies within the district shall be subject to the provisions of this ordinance. However, rather than obtaining individual Certificates of Appropriateness for each proposed activity in the district, the City and public utility companies may instead obtain a Master Certificate of Appropriateness from the Historic District Commission. No Master Certificate of Appropriateness shall be valid for a period greater than one (1) year from the date of issuance. The Historic District Commission shall consider and issue Master Certificates in accordance with the procedures and standards applicable to individual certificates.

In addition to acquiring a master certificate, the City and any public utility company shall notify the City Manager prior to performing any work within the district. In emergency situations, notification by the next work day is acceptable. Such work shall be done in accordance with the principles, design guidelines, and specific criteria adopted for the district as part of the Historic District Preservation Plan. The City Manager may inspect all work done pursuant to a Master Certificate.

1. Effect of Permitted Construction Activities on Requirements for Variances and Use Permits.

The applicant for a Certificate of Appropriateness shall obtain any use permit or variance required by other provisions of the Zoning Ordinance in addition to any required Certificate of Appropriateness. Any required variance or use permit may be obtained either before or after a Certificate of Appropriateness is obtained. When the Historic District Commission recommends a change in construction plans that requires a variance from the Board of Adjustment, the Historic District Commission's recommendation shall not be binding on the Board of Adjustment, and shall be considered by the Board as a recommendation only.

2. Approval Subject to Conditions.

The Historic District Commission may attach reasonable and appropriate conditions to any Certificate of Appropriateness in order to assure compliance with this ordinance.

3. Approval Affecting Rights-of-Way.

Any property or structure restored, reconstructed, or maintained and which extends on, or within a public sidewalk, public alley, or other such public way shall be authorized by the City Council and shall be the responsibility of the item's owner, his heirs and assigns. The owner's restoration, reconstruction, or maintenance of any such property or structure within a public area shall constitute the owner's agreement to protect and hold the City of Durham harmless against any liability, cost, damage, or expense suffered by the City of Durham as a result of or growing out of the restoration, reconstruction, or maintenance thereof. Such items, so approved, may be lawfully restored, reconstructed, or maintained. Any such item projecting over the vehicular travel way of a street or alley shall be, at its lowest point, 15 feet above the travel way.

E. Parking Variance.

When the Historic District Commission finds that the number of off-street parking spaces required by the zoning regulations for a building or structure for which a Certificate of Appropriateness is requested is inconsistent with the historic character and qualities of the District, the Historic District Commission shall recommend to the Board of Adjustment that the Board of Adjustment grant a variance, in part or in whole, of the number of off-street parking spaces required. The Board of Adjustment may authorize a lesser number of off-street parking spaces, provided: (1) the Board finds that the lesser number of off-street parking spaces will not create problems due to increased on-street parking, and (2) will not constitute a threat to the public safety.

1. Required Conformance to Dimensional Regulations; Exceptions.

The dimensional and other regulations of the underlying zoning district shall apply to structures within the Historic District. In order to maintain the historic character of a particular area, the Preservation Plan may recommend dimensional regulations for such items as minimum setbacks, maximum setback, height limit, and minimum side yards. Only the Board of Adjustment may grant a variance from the dimensional regulations established by the Zoning Ordinance.

F. Historic District Commission Recommendation on Use Permits, Variances, Rezoning Requests and Zoning Text Amendment.

All use permits, variances, rezoning requests and zoning text amendment applications within the Historic District may be reviewed by the Historic District Commission. The Commission may make recommendations provided that its review shall not delay or impede the normal processing and review of such requests, the Historic District Commission may forward its own recommendations concerning the requests to the appropriate public body.

G. Historic District Commission.

1. Creation.

There is hereby established the Durham Historic District Commission (hereafter referred to as the "Historic District Commission" or "Commission") to consist of nine (9) members appointed by the City Council. The Commission shall serve without compensation.

2. Tenure.

Members of the Historic District Commission shall serve overlapping terms of three (3) years. Initially, three (3) members shall be appointed for three (3) years, three (3) members for two (2) years, and three (3) members for one (1) year. Thereafter, all appointments shall be made for three (3) years. A member may be reappointed for a second consecutive term. After two consecutive terms a member shall be

ineligible for reappointment until one calendar year has elapsed from the date of termination of his or her second term.

3. Qualifications.

All members of the Historic District Commission shall be residents of the territorial zoning jurisdiction of the City of Durham and at least seven (7) members shall be City residents. A majority of the members shall have demonstrated special interest, experience, or education in history or architecture. The Commission shall always include at least one registered architect, one realtor or developer, one cultural or social historian, one representative of a lending institution, and two members who are none of these.

4. Meetings.

The Historic District Commission shall establish a meeting time, and shall meet at least quarterly and more often as it shall determine and require. All meetings shall conform to the North Carolina Open Meetings Law, G.S. Chapter 143, Article 33C.

5. Rules of Procedure.

The Historic District Commission shall adopt and publish rules of procedure for the conduct of its business.

6. Annual Report Required.

The Historic District Commission shall prepare an annual report and submit it to the City Council by February 1st of each year. The annual report shall include a comprehensive and detailed review of the activities, problems, and actions of the Commission and any budget requests or other recommendations.

7. Meeting Minutes.

The Commission shall keep permanent minutes of its meetings. The minutes shall include the attendance of its members and its resolution, findings, recommendations and other actions. The minutes of the Commission shall be open for public inspection as required by law.

8. Commission Powers.

a. General Responsibilities of the Commission. The Commission shall use education and regulation to promote, enhance and preserve the character and heritage of the District.

b. Specific Authority and Powers. The Historic District Commission is authorized and empowered to undertake actions reasonably necessary to the discharge and conduct of its duties and responsibilities as established in this ordinance and by Part 3A, Article 19, Chapter 160A of the General Statutes of the State of North Carolina, including the following:

1. To recommend to the Planning and Zoning Commission districts or areas to be designated by ordinance as "Historic Districts."
2. To recommend to the Planning and Zoning Commission that designation of any district or area as a Historic District be revoked or removed.
3. To consider and grant or deny applications for Certificates of Appropriateness or Master Certificates of Appropriateness in accordance with this ordinance.
4. To give advice to property owners concerning the treatment of the historical and visual characteristics of their properties located within the District, such as color schemes, gardens and landscape

- features, and minor decorative elements.
5. To propose to the City Council changes to this or any related ordinance and to propose new ordinances or laws relating to the Historic District or relating to the total program for the development of the historical resources of Durham and its environs.
 6. To cooperate with other City of Durham boards or commissions or with agencies of the City of Durham or other governmental units to offer or request assistance, aid, guidance, or advice concerning matters under its purview or of mutual interest.
 7. To publish information about, or otherwise inform the owners of property within the District, of any matters pertinent to its duties, organization, procedures, responsibilities, functions, or requirements.
 8. To undertake programs of information, research, or analysis relating to any matters under its purview.
 9. To report violations of this ordinance, or related ordinances to the local official responsible for enforcement.
 10. To assist the City of Durham staff in obtaining the services of private consultants to aid in carrying out programs of research or analysis.
 11. To accept funds, with the approval of City Council and to be administered by the Department of Planning and Community Development, granted to the Commission from private or non-profit organizations.
 12. To contract, with the approval of the City Council, for services or funds from the State of North Carolina and agencies or departments of the United States government.
 13. To recommend to the City Council and the State of North Carolina structures, sites, objects or districts worthy of national, state or local recognition.
 14. To delay demolition of historically significant buildings as set forth in Article K.
 15. To initiate and participate in negotiations with owners and other parties to find means of preserving historically significant buildings set for demolition.
 16. To establish guidelines under which the City Manager or his designee may approve minor modifications on behalf of the Commission. No application shall be denied without first being considered by the Commission.
 17. To conduct public hearings on applications for Certificates of Appropriateness where the Commission deems that such a hearing is necessary.
 18. To organize itself and conduct its business by whatever legal means it deems proper.
 19. To exercise such other powers and perform such other duties as are required elsewhere by this ordinance, the General Statutes of North

Carolina or by the City Council.

H. Certificate of Appropriateness.

1. Required.

From and after the designation of the historic district, no exterior portion of any building or other structure (including masonry walls, fences, light fixtures, steps and pavement, or other appurtenant features) nor any type of outdoor advertising sign shall be erected, altered, restored, moved or demolished within such district until after an application for a Certificate of Appropriateness as to exterior features has been submitted to and approved by the Historic District Commission. The City shall require such a certificate to be issued by the Commission prior to the issuance of a building permit granted for the purpose of constructing, altering, moving or demolishing structures, which certificates may be issued subject to reasonable conditions necessary to carry out the purposes of this ordinance. A Certificate of Appropriateness shall be required whether or not a building permit is required. Any building permit or such other permit not issued in conformity with this section shall be invalid. The City and the public utility companies may obtain a Master Certificate from the Historic District Commission rather than obtaining individual Certificates of Appropriateness for each proposed activity in the district.

2. Required Procedures.

- a. Application Submitted to Appropriate Administrative Official. The owner or his agent shall obtain an application for a Certificate of Appropriateness from and, when completed, file it with the City's Director of Inspection Services. An application for a Certificate of Appropriateness shall be considered by the Historic District Commission at its next regular meeting, provided it has been filed, complete in form and content, at least ten (10) calendar days before the regularly scheduled meeting of the Commission.
- b. Contents of Application. The Commission shall, by uniform rule in its Rules of Procedure, require such data and information as is reasonably necessary to evaluate the nature of the application. An application for a Certificate of Appropriateness shall not be considered complete until all required data has been submitted. Nothing shall prevent the applicant from filing with the application additional relevant information bearing on the application.
- c. Notification of Historic District Commission. The Director of Planning and Community Development shall notify the Historic District Commission at least seven (7) calendar days before its regularly scheduled meeting of any pending applications for a Certificate or Master Certificate.
- d. Notification of Affected Property Owners. Prior to the issuance or denial of a Certificate of Appropriateness, the Commission shall take such action as may reasonably be required to inform the owner of any property likely to be materially affected by the application, and shall give the applicant and any such owner an opportunity to be heard.
- e. Public Hearing. In cases where the Commission deems it necessary, it may hold a public hearing concerning the application.
- f. Commission Action on Application. The Commission shall take action on the application and in doing so shall apply the Review Criteria, contained in Section I of this Ordinance.
- g. Reasons for Commission's Actions to Appear in Minutes. The Commission

shall cause to be entered into the minutes of its meeting the reasons for its actions, whether it be approval, approval with modifications, or denial.

- h. Local and State Coordination. The Historic District Commission shall use all reasonable efforts to expedite any concurrent process with the State Division of Archives and History if such a process is desired by the applicant for the purpose of securing both a Certificate of Appropriateness and a federal historic preservation tax credit.
- i. Time Limits. If the Commission fails to take final action upon any application within forty-five (45) days after the complete application is submitted to the City Director of Inspection Services, the application shall be deemed to be approved and a building permit may be issued. A Certificate of Appropriateness shall expire if a building permit has not been obtained within a year.
- j. Submission of New Application. If the Commission determines that a Certificate of Appropriateness should not be issued, a new application affecting the same property may be submitted only if substantial change is made in plans for the proposed construction, reconstruction, alteration, restoration or moving or other conditions related to the district or surrounding uses have changed substantially.

I. Review Criteria for Certificate of Appropriateness.

1. Intent.

It is the intent of these regulations to insure insofar as possible, that buildings or structures in the historic district shall be in harmony with other buildings or structures located therein. However, it is not the intention of these regulations to require the reconstruction or restoration of individual or original buildings or to prohibit the demolition or removal of such buildings or to impose architectural styles from particular historic periods. In considering new construction, the Commission shall encourage contemporary design which is harmonious with the character of the District.

In granting a Certificate of Appropriateness, the Commission shall take into account the historic or architectural significance of the structure under consideration and the exterior form and appearance of any proposed additions or modifications to that structure as well as the effect of such change or additions upon other structures in the vicinity, in accordance with the principles and guidelines for Certificates of Appropriateness adopted for the District. (See Sec. B.4).

2. Exterior Form and Appearance.

Any application for a Certificate of Appropriateness shall be subject to review based upon the design guidelines then in effect for the Preservation Plan of each historic district. Specific criteria shall be adopted for each district at the time that the Historic District Preservation Plan is adopted. These guidelines shall be set forth in a manual prepared and adopted by the Commission. The manual shall address the standards as adopted by resolution of the City Council.

3. Interior Arrangement Not Considered.

The Historic District Commission shall not consider interior arrangement. No Certificate of Appropriateness shall be required for interior changes. However, this does not excuse the property owner from obtaining any required building permit for interior work.

J. Certain Changes Not Prohibited.

Nothing in this ordinance shall be construed to prevent the ordinary maintenance or repair of any exterior architectural feature in the Historic District which does not involve a substantial change in design, material, or outer appearance thereof, provided any required building permit is obtained. Nor shall this ordinance be construed to prevent the construction, reconstruction, alteration, restoration, or demolition of any such feature which the Director of Inspection Services or similar official shall certify in writing to the Commission as required by the public safety because of an unsafe or dangerous condition.

K. Delay in Demolition of Buildings Within Historic District.

An application for a Certificate of Appropriateness authorizing the demolition of a building or structure within the district may not be denied. However, the effective date of such a certificate may be delayed for a period of up to 180 days from the date of approval. The maximum period of delay authorized by this section shall be reduced by the Commission where it finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use of or return from such property by virtue of the delay. During such period the Historic District Commission may negotiate with the owner and with any other parties in an effort to find a means of preserving the building. If the Historic District Commission finds that the building has no particular significance or value toward maintaining the character of the district, it shall waive all or part of such period and authorize earlier demolition or removal.

L. Review of Application by Commission.

As part of its review procedure, the Commission may review the premises and seek the advice of the North Carolina Department of Cultural Resources or such other expert advice as it may deem necessary under the circumstances.

M. Appeal of Decision.

An appeal may be taken to the Board of Adjustment from the Commission's action in granting or denying any certificate; Appeals may be taken by an aggrieved party and shall be taken within times prescribed by Historic District Commission by general rule. An appeal from the Board of Adjustment's decision in any case shall be heard by the Durham County Superior Court.

N. Compliance.

Compliance with the terms of the Certificate of Appropriateness shall be enforced by the Director of Inspection Services. Construction or other work which fails to comply with a Certificate of Appropriateness shall be a violation of the Zoning Ordinance. The discontinuance of work for a period of six months shall be considered as a failure to comply with a Certificate of Appropriateness.

Nothing contained in this ordinance shall prohibit, impair, or limit in any way the power of the City of Durham to prevent the construction, reconstruction, alteration, restoration, or removal of buildings, structures, appurtenant fixtures, or outdoor signs in the Historic District in violation of the provisions of this ordinance. The enforcement of any remedy provided herein shall not prevent the enforcement of any other remedy or remedies provided herein or in other ordinances or laws.

O. State Recommendations.

No area shall be designated as an Historic District and the requirements of Subsection G.8.b.3 shall not be implemented until the Department of Cultural Resources shall have been given an opportunity, in accordance with the provisions of G.S. 160A-395(2), to make recommendations with respect to the establishment of the District.